



## ACTIVITY DETERMINATION

Project No. BGZEE

### Conflict of Interest<sup>1</sup>

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Head of Housing Portfolio, Homes NSW.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Head of Housing Portfolio, Homes NSW as soon as I become aware of a possible conflict of interest.

Signed.....

Dated **28.06.24**

Yolanda Gil  
Acting Executive Director, Portfolio Strategy and Origination  
Housing Portfolio  
Homes NSW

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

### SITE IDENTIFICATION

#### STREET ADDRESS

Unit/Street No

10 - 14 and 5

Street or property name

Munmurra Road and Bernadotte Street

Suburb, town or locality

Riverwood

Postcode

2210

Local Government Area(s)

Georges River

Real property description (Lot and DP)

Lots 57, 58, 59 and 60 in Deposited Plan 35818

### ACTIVITY DESCRIPTION

Removal of trees, and the construction of 16 seniors housing units comprising 8 x 1 bedroom and 8 x 2 bedroom units, with associated landscaping and fencing, surface parking for 12 cars, and consolidation into a single lot.

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

Dated.....**28.06.24**

Yolanda Gil  
Acting Executive Director, Portfolio Strategy and Origination  
Housing Portfolio  
Homes NSW

## SCHEDULE 1

### IDENTIFIED REQUIREMENTS

#### PART A – Standard Identified Requirements

##### THE DEVELOPMENT

*The following identified requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.*

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
<b>Architectural Plans – Appendix A</b>				
Cover Sheet	DA-001	6	17/05/2024	Custance Associates Australia Pty Ltd
Site Analysis	DA-002	5	18/01/2024	Custance Associates Australia Pty Ltd
Development Data	DA-004	5	18/01/2024	Custance Associates Australia Pty Ltd
Site Plan	DA-005	6	17/05/2024	Custance Associates Australia Pty Ltd
General Arrangement Plan - Ground Level - Part 2	DA-006.A	4	17/05/2024	Custance Associates Australia Pty Ltd
General Arrangement Plan - Ground Level - Part 1	DA-006	8	17/05/2024	Custance Associates Australia Pty Ltd
General Arrangement Plan - Level 1	DA-007	8	17/05/2024	Custance Associates Australia Pty Ltd
Roof Plan	DA-008	5	18/01/2024	Custance Associates Australia Pty Ltd



Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
External Elevations	DA-009	6	18/01/2024	Custance Associates Australia Pty Ltd
External Elevations	DA-010	6	18/01/2024	Custance Associates Australia Pty Ltd
External Elevations	DA-011	7	17/05/2024	Custance Associates Australia Pty Ltd
External Finishes	DA-012	5	18/01/2024	Custance Associates Australia Pty Ltd
Building Sections	DA-013	5	18/01/2024	Custance Associates Australia Pty Ltd
Shadow Diagrams	DA-014	5	18/01/2024	Custance Associates Australia Pty Ltd
Solar Access Studies - Bernadotte St	DA-015	5	18/01/2024	Custance Associates Australia Pty Ltd
Solar Access Studies - Internal Carpark	DA-016	6	17/05/2024	Custance Associates Australia Pty Ltd
Cut and Fill Diagrams	DA-017	3	18/01/2024	Custance Associates Australia Pty Ltd
Views from the Sun – Sheet 1	DA-018	4	17/05/2024	Custance Associates Australia Pty Ltd
Views from the Sun – Sheet 2	DA-019	4	17/05/2024	Custance Associates Australia Pty Ltd
Views from the Sun – Sheet 3	DA-020	4	17/05/2024	Custance Associates Australia Pty Ltd
Views from the Sun – Sheet 4	DA-021	4	17/05/2024	Custance Associates Australia Pty Ltd
<b>Landscape Plans – Appendix B</b>				
Landscape Coversheet	000	G	11/06/2024	Site Image
Existing Tree Master Plan	001	E	11/06/2024	Site Image
Landscape Masterplan (Colour)	C100	G	11/06/2024	Site Image
General Arrangement Plan 1	101	D	25/01/2024	Site Image
General Arrangement Plan 2	102	G	11/06/2024	Site Image
Planting Plan 1	201	E	25/01/2024	Site Image
Planting Plan 2	202	H	11/06/2024	Site Image
Landscape Specification Notes & Planting Schedule	500	G	21/05/2024	Site Image
Landscape Details	501	B	03/11/2023	Site Image
<b>Civil Plans – Appendix C</b>				
Site Stormwater Plan	CSK01	G	13/06/2024	JN
Level 1 Stormwater Plan	CSK02	G	13/06/2024	JN
Roof Stormwater Plan	CSK03	G	13/06/2024	JN
WSUD Plan	CSK04	G	13/06/2024	JN
ESM Site Plan	ESM1	B	13/06/2024	JN
ESM Site Plan	ESM2	B	13/06/2024	JN
<b>Survey Plans – Appendix D</b>				

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Detail and Level Survey	1 of 10	C	5/12/2023	Norton Survey Partners
Detail and Level Survey	2 of 10	C	5/12/2023	Norton Survey Partners
Detail and Level Survey	3 of 10	C	5/12/2023	Norton Survey Partners
Detail and Level Survey	4 of 10	C	5/12/2023	Norton Survey Partners
Detail and Level Survey	5 of 10	C	5/12/2023	Norton Survey Partners
Detail and Level Survey	6 of 10	C	5/12/2023	Norton Survey Partners
Detail and Level Survey	7 of 10	C	5/12/2023	Norton Survey Partners
Detail and Level Survey	8 of 10	C	5/12/2023	Norton Survey Partners
Detail and Level Survey	9 of 10	C	5/12/2023	Norton Survey Partners
Detail and Level Survey	10 of 10	C	5/12/2023	Norton Survey Partners
Survey Plan Showing Details and Levels	1 of 1	A	19/12/2022	Mepstead and Associates
<b>Notification Plans – Appendix E</b>				
Cover Sheet	N-01	2	21/12/2023	Custance Associates Australia Pty Ltd
Site/Landscape Plan	N-02	A	14/02/2024	Custance Associates Australia Pty Ltd
External Elevations	N-03	2	21/12/2023	Custance Associates Australia Pty Ltd
External Elevations	N-04	2	21/12/2023	Custance Associates Australia Pty Ltd
External Finishes	N-05	2	21/12/2023	Custance Associates Australia Pty Ltd
Shadow Diagrams	N-06	2	21/12/2023	Custance Associates Australia Pty Ltd
<b>Access Report – Appendix H</b>				
Access Report	23008-DA	R1.3	8/03/2024	Ai Consultancy
<b>AHIMS – Appendix I</b>				
AHIMS search	-	-	16/04/2024	NSW Government
<b>Arborist's Report – Appendix J</b>				
Arboricultural Impact Assessment	D4910	-	June 2024	Allied Tree Consultancy
<b>BASIX Certificate – Appendix K</b>				
BASIX Certificate	1740102M	-	16/03/2024	Eco Engineering Group Pty Ltd
<b>BCA Report – Appendix L</b>				
BCA Compliance Assessment	P220164	2	6/12/2023	BCA Vision
<b>NatHERS Certificate – Appendix N</b>				
Nationwide house energy rating scheme – class 2 summary	0009311090	-	18/03/2024	House Energy Certified
<b>Geotechnical Investigation Assessment - Appendix P</b>				
Geotechnical Investigation Assessment	22/3102	-	September 2022	STS Geotechnic Pty Ltd
<b>Waste Management Plan – Appendix R</b>				

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Waste Management Plan	-	-	-	Custance Associates Australia Pty Ltd
<b>Traffic Report - Appendix S</b>				
Traffic Impact and Parking Assessment	N0221293	B	22/11/2023	Jones Nicholson Pty Ltd

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans as required by identified requirement No. 64 shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land and Housing Corporation.

## OPERATIONAL MATTERS

*The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.*

### Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Georges River Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

### Vehicular Access & Parking

10. Concrete vehicular crossings and laybacks shall be provided at the entrances / exits to the property. The crossings and laybacks shall be constructed in accordance with Georges River Council's standard requirements for residential crossings. Council shall be provided with plans for the crossings and laybacks together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the laybacks / driveways shall be borne by the Land

and Housing Corporation. Obsolete gutter layback(s) shall be constructed as kerb in accordance with Georges River Council's standards.

**Note:**

*It is recommended that discussion be held with the relevant authorities before construction works commence.*

12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

### Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

### Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

### Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
  - i. be connected to a permanent 240V power supply; and
  - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

### Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land and Housing Corporation on completion of the remediation works.

## **Landscaping**

18. Landscaping shall be carried out substantially in accordance with the approved landscape plans and maintained for a period of 12 months by the building contractor. Georges River Council shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land and Housing Corporation.

## **Tree Removal**

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arboricultural Impact Assessment report and no other trees shall be removed without further approval(s).

## **Fencing**

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

## **Provision of Letterbox Facilities**

22. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

## **Public Liability Insurance**

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the construction works by the contractor.

## **PRIOR TO ANY WORK COMMENCING ON THE SITE**

*The following Identified Requirements are to be complied with prior to any work commencing on the site.*

## **Disconnection of Services**

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

## **Utilities Service Provider Notification**

26. The construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

**Note:**

*If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.*

### Council Notification

27. Georges River Council shall be advised in writing, of the date it is intended to commence works. A minimum period of **five (5)** working days notification shall be given.

### Neighbour notification

28. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of **five (5)** working days prior to commencement of construction. Such notification shall be clearly written on an A4 size paper giving the date construction will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). Construction shall not commence prior to the date that is stated in the notice letter.

### Separate approval for demolition

29. Separate approval is to be obtained for the demolition of the existing dwellings and associated structures on the site. Demolition is to be completed prior to any construction work commencing on site.

### Site Safety

30. A sign shall be erected in a prominent position on any site on which building works or building work is being carried out:
- (a) showing the name, address and telephone number of the responsible Land and Housing Corporation officer for the work, and
  - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
  - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

**Note:**

*This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.*

31. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when construction work is not in progress or the site is otherwise unoccupied.

**Note:**

*Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.*

32. No building materials are to be stored on the footpath or roadway.

## Site Facilities

33. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Georges River Council or if this is not practicable to some other council approved management facility.
  - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.
34. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

## Protection of Trees

35. Trees and other vegetation that are to be retained on site and within the adjoining road reserve shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment report.

## Waste Management

36. A final Waste Management Plan shall be prepared and submitted to the Land and Housing Corporation by the building contractor prior to the commencement of construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

## PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

*The following Identified Requirements are to be complied with prior to any construction works occurring on the site.*

## Service Authority Clearances

37. A compliance certificate, or other evidence, shall be obtained from Sydney Water confirming service availability prior to work commencing.

**Note:**

*Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.*

38. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
39. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.

40. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

### Stormwater Disposal

41. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land and Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/ or Georges River Council's drainage code.

### DURING CONSTRUCTION WORKS

*The following Identified Requirements are to be complied with whilst construction works are occurring on the site.*

#### Landfill

42. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
43. Land fill materials must satisfy the following requirements:
- i. be Virgin Excavated Natural Matter (VENM);
  - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
  - iii. be free of industrial waste and building debris.

#### Heritage

44. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical or indigenous items have been uncovered, the Department of Climate Change, Energy the Environment and Water must be contacted.
45. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Department of Climate Change, Energy the Environment and Water.

#### Survey Reports

46. Survey reports shall be submitted by the building contractor to the Land and Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.



### **Hours of Construction / Civil Work**

47. Construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

### **Excavation & Backfilling**

48. All excavations and backfilling associated with the erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

### **Pollution Control**

49. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
50. No fires shall be lit or waste materials burnt on the site.
51. No washing of concrete forms or trucks shall occur on the site.
52. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
53. Dust generation during construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
54. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
55. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

### **Impact of Construction Works**

56. NSW Land and Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
57. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to construction works, damage is caused to such adjoining property.

### **Termite Protection**

58. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection,

- (b) the date of installation of the system,
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label. and
- (d) the need to maintain and inspect the system on a regular basis.

## **PRIOR TO OCCUPATION OF THE DEVELOPMENT**

*The following Identified Requirements are to be complied with prior to the occupation of the development.*

### **General**

59. The use or occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

### **Council Infrastructure Damage**

60. The cost of repairing any damage caused to Georges River Council's assets in the vicinity of the site as a result of construction works shall be met in full by the building contractor.

### **Stormwater Drainage**

61. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:
- sufficient levels and dimensions to verify the constructed storage volumes; and
  - location and surface levels of all pits; and
  - the structural adequacy of the On-Site Detention system; and
  - detention storage volume and attenuation in accordance with the submitted calculations; and
  - invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
  - finished floor levels of all structures; and
  - verification that any required trash screens have been installed; and
  - locations and levels of any overland flow paths; and
  - verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Georges River Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land and Housing Corporation and Georges River Council.

## **PART B – Additional Identified Requirements**

### **62. Air Conditioning**

#### Design and Installation

Air conditioning units as illustrated on architectural plans must be designed, specified and installed to ensure that they comply with the requirements of the Protection of the Environment Operations (Noise Control) Regulations 2017 and must not emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary. Acoustic treatment may be required to ensure this is achieved.

Certification, from an appropriately qualified acoustic consultant, shall be provided at construction documentation stage that the air conditioning units can comply with this requirement.

Further certification, from an appropriately qualified acoustic consultant, shall be provided prior to occupation that the installed air conditioning units comply with this requirement.

#### On-Going

The use of any air-conditioning unit must comply with the requirements of the Protection of the Environment Operations (Noise Control) Regulations 2017 and must not:

- (a) emit a noise that is audible within a habitable room in any adjoining residence (regardless of whether any door or window to that room is open);
  - (i) before 8.00 am and after 10.00 pm on any Saturday, Sunday or Public Holiday; or
  - (ii) before 7.00 am or after 10.00 pm on any other day;
- (b) emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary.

### **63. Solar (photovoltaic electricity generating) energy system**

Where a solar energy system is proposed it must satisfy the following requirements:

- (a) the system is installed in accordance with the manufacturer's specifications or by a person who is accredited by the Clean Energy Council for the installation of photovoltaic electricity generating systems, and
- (b) the solar energy system must not reduce the structural integrity of any building to which the system is attached, and
- (c) the system must not involve mirrors or lenses to reflect or concentrate sunlight, and
- (d) the system must not protrude more than 0.5m from the wall or roof (as measured from the point of attachment), and
- (e) the system is installed no less than 3m from any adjoining property boundary.

Certification from an appropriately person shall be provided at construction documentation stage that the solar energy system/s are capable of complying with this requirement.

### **64. NatHERS & BASIX Certificates/ stamped plans**

Updated BASIX and NatHERS Certificates and stamped plans prepared by an appropriately qualified person are to be provided at construction documentation stage detailing the inclusion of air conditioning and solar (photovoltaic electricity generating) energy system.

## Specific Requirements for Seniors Housing

65. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of *State Environmental Planning Policy (Housing) 2021*.

**Note:**

*This requirement does not apply to the provisions set out under sections 2, 7-13 and 15-20 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.*

66. Only the following kinds of people shall be accommodated in the approved development:

- (a) seniors or people who have a disability; or
- (b) people who live in the same household with seniors or people who have a disability; or
- (c) staff employed to assist in the administration and provision of services to the seniors housing development.

**Note:**

*It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:*

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

67. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.

68. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.

69. **Continuous Accessible Path of Travel**

- A 1.2m wide concrete footpath shall be constructed across the site frontages, east of the western entrance in Munmurra Road, and from the site to the existing concrete footpath on the southern side of Broadarrow Road in accordance with Georges River Council specifications.
- The existing concrete footpath within Broadarrow Road, from Bernadotte Street to the nearest bus stops, shall be upgraded where necessary in accordance with the recommendations contained in the Access Report and Georges River Council specifications to provide an accessible pathway to the bus stops.

**Note:**

The responsible officer at Georges River Council shall be contacted regarding Council's specifications and any necessary approvals.

70. Entry doors to units shall be provided with door viewers to enable residents to view approaches to their units without the need to open the door.

#### **Site Specific Requirements**

**71. Boundary Fencing**

To be metal panel (colour Monument or similar) a maximum 1.8m high behind the building line, tapering to 1.2m in height between the building line and front property boundary. Behind the building line to be a maximum 1.8m high.

72. Fencing along the front property boundaries to be a maximum 1.2m high.

73. Fencing to the Private Open Space areas of Units 4, 5, 6, 7 and 8 to be maximum 1.5m high aluminium vertical slat with maximum 15mm gaps.

#### **Requirements Resulting from Council Comments**

**74. Compliance with Flood Study**

The development shall be designed to conform to the recommendations and conclusions of the submitted flood study prepared by JN responsive Engineering. This shall include, but not be limited to, any recommendations for the following:

- Minimum floor levels
- Fencing
- Site regrading
- Overland flow path construction.

Evidence from a professional engineer that specialises in hydraulic engineering shall be provided prior to occupation that this identified requirement has been adhered to.

**75. Maintenance Schedule**

Prior to occupation, a Maintenance Schedule for the proposed on-site stormwater management measures. The Maintenance Schedule shall outline the required maintenance works, how and when these will be done and who will be carrying out these maintenance works.

**76. Street Trees**

An appropriate number of street trees are to be provided in suitable locations within Council's reserve at the site's frontages in consultation with Georges River Council staff.

**77. Pathway within the Road Reserve**

- i. The construction documentation plans are to include updated finished levels to the footpath within the road reserve to match existing ground levels adjacent to trees 2, 3 and 4.
- ii. To be of flexible/ porous construction where required in the vicinity of Trees 2, 3 and 4 and in accordance with Georges River Council's specifications.
- iii. Access Report to be updated to provide an assessment of, and recommendations in relation to, the updated construction documentation plans.

## 78. Pruning Schedule

The project Arborist is to prepare a pruning schedule in accordance with AS4373—Pruning of amenity trees and provide a copy to Georges River Council.

### ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or by dialling 1100.

# Decision Statement

Project No. BGZEE

SITE IDENTIFICATION	
<b>STREET ADDRESS</b>	
Unit/Street No	Street or property name
10-14 5	Munmurra Road Bernadotte Street
Suburb, town or locality	Postcode
Riverwood	2210
Local Government Area(s)	Real property description (Lot and DP)
Georges River	Lots 57, 58, 59 and 60 in Deposited Plan 35818
ACTIVITY DESCRIPTION	
<b>Provide a description of the activity</b>	
Removal of trees, and the construction of 16 seniors housing units comprising 8 x 1 bedroom and 8 x 2 bedroom units, with associated landscaping and fencing, surface parking for 12 cars, and consolidation into a single lot.	

NSW Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from Georges River Council a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

## Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

## Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF document it was decided that the proposed development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.

- The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the Georges River local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 8. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

  
**Signed**.....

**Dated**..... **28.06.24**

**Yolanda Gil**  
**Acting Executive Director, Portfolio Strategy and Origination**  
**Housing Portfolio, Homes NSW**



# 10-14 MUNMURRA ROAD & 5 BERNADOTTE ST, RIVERWOOD, NSW. NSW SENIOR'S HOUSING DEVELOPMENT



PROPOSED DEVELOPMENT SITE OWNED BY  
THE LAND AND HOUSING CORPORATION

## DEVELOPMENT DATA TABLE

PROPOSED DEVELOPMENT DATA - SEPP HOUSING 2021				
Site Area	2493 m <sup>2</sup>			
Number of dwellings	16 (8 x 1 Bed 8 x 2 Bed)			
	Control	Requirement	Proposed	
Front Setback	Georges River DCP	4.5m	6.3m / 8.4m	
Side Setback	Georges River DCP	4m	3.4m / 3m	
Rear Setback	Georges River DCP	6m	16.4m / 8.4m	
Height	SEPP Housing 2021	9.5m building height (top of ridge)	8.7m maximum	
Floor Space Ratio	SEPP Housing 2021	0.5 : 1	0.51 : 1	
	Georges River LEP	0.5 : 1	0.51 : 1	
Landscape	SEPP Housing 2021	35m <sup>2</sup> per unit = 560m <sup>2</sup>	971m <sup>2</sup>	
Deep Soil Zone 15% of site with minimum dimensions of 3m	SEPP Housing 2021	15/100 x 2493 = 374m <sup>2</sup>	712m <sup>2</sup>	
65% of this at rear	SEPP Housing 2021	65/100 x 712 = 462m <sup>2</sup>	363m <sup>2</sup>	
70% of dwellings to have two hours sunlight to living areas and to associated private open space	SEPP Housing 2021	70/100 x 16 = 11.2 (12)	13/16 units - 81.2%	
Parking	SEPP Housing 2021	1 bed = 0.5 2 bed = 1	= 12	



BERNADOTTE STREET



CORNER OF MUNMURRA & BERNADOTTE STREET

DA DRAWING LIST		
SHEET NO	SHEET NAME	CURRENT REVISION
DA-001	COVER SHEET	6
DA-002	SITE ANALYSIS	5
DA-004	DEVELOPMENT DATA	5
DA-005	SITE PLAN	6
DA-006	GENERAL ARRANGEMENT PLAN - GROUND LEVEL - PART 1	8
DA-006.A	GENERAL ARRANGEMENT PLAN - GROUND LEVEL - PART 2	4
DA-007	GENERAL ARRANGEMENT PLAN - LEVEL 1	8
DA-008	ROOF PLAN	5
DA-009	EXTERNAL ELEVATIONS	6
DA-010	EXTERNAL ELEVATIONS	6
DA-011	EXTERNAL ELEVATIONS	7
DA-012	EXTERNAL FINISHES	5
DA-013	BUILDING SECTIONS	5
DA-014	SHADOW DIAGRAMS	5
DA-015	SOLAR ACCESS STUDIES - BERNADOTTE ST	5
DA-016	SOLAR ACCESS STUDIES - INTERNAL CARPARK	6
DA-017	CUT AND FILL DIAGRAMS	3
DA-018	VIEWS FROM THE SUN - SHEET 1	4
DA-019	VIEWS FROM THE SUN - SHEET 2	4
DA-020	VIEWS FROM THE SUN - SHEET 3	4
DA-021	VIEWS FROM THE SUN - SHEET 4	4

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 501/024	18/01/2024
6	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 15/05/24.	17/05/2024

## Part 5 Submission

### NOTES : DEVELOPMENT APPLICATION

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#### Consultants

Arboret: Arterra  
Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

#### Client



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Project  
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DP 35818  
LOTS 57,58,59 & 60 in  
SENIOR HOUSING DEVELOPMENT

#### Sheet Title

COVER SHEET

Drawn	Checked	Scale
JP	RW	As indicated @ A1

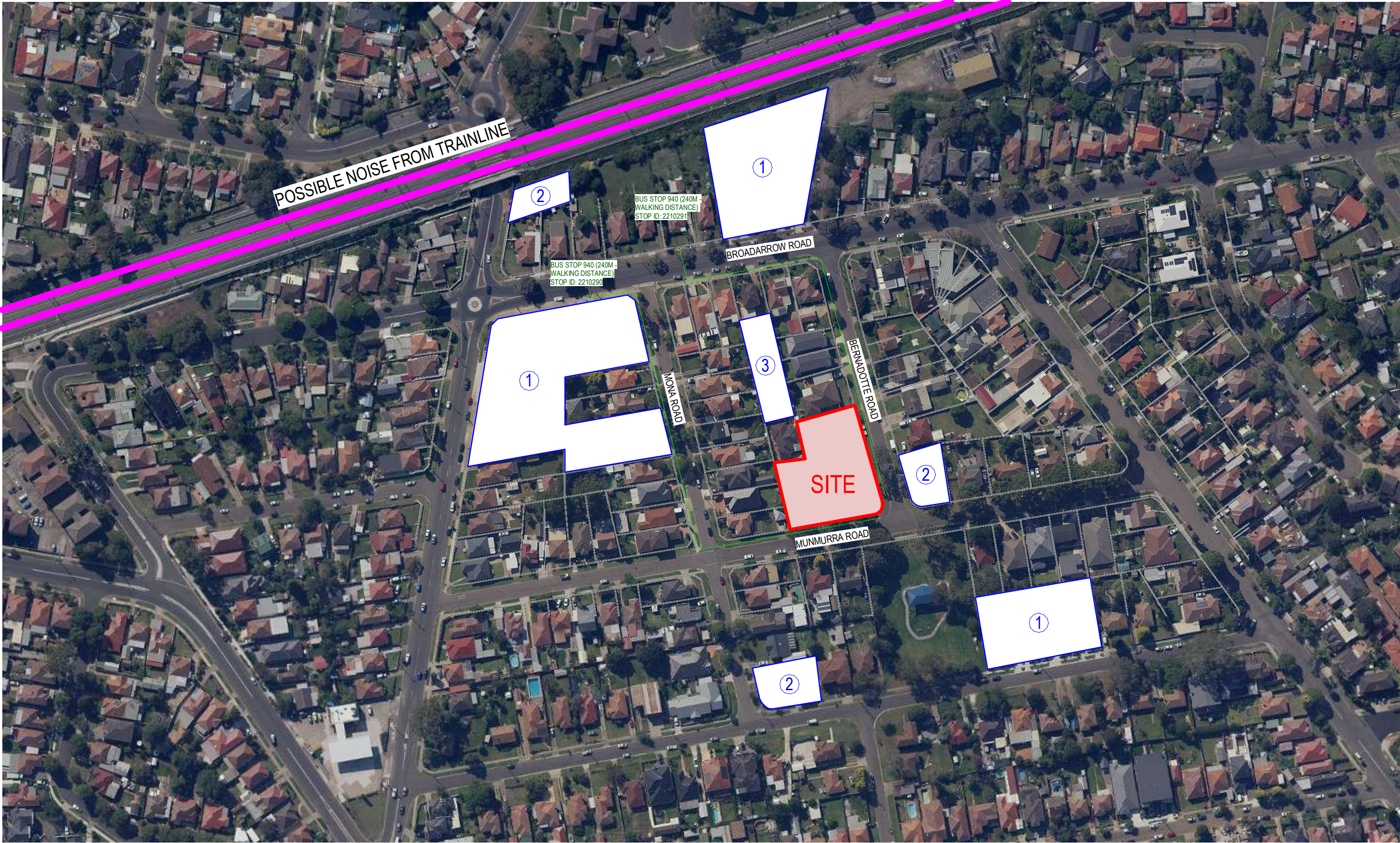
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Project No.	Sheet No.	Revision
3418	DA-001	6



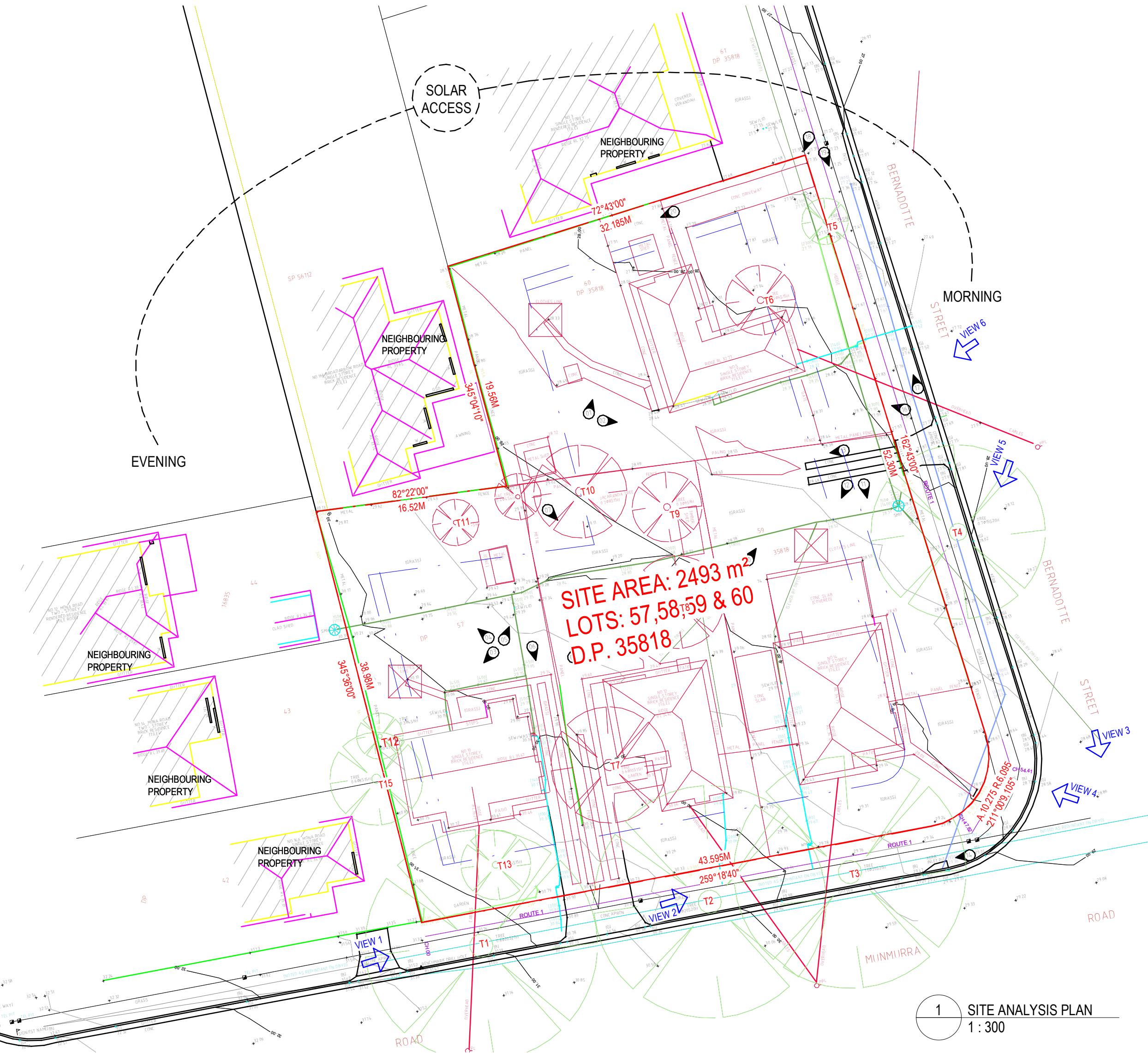


NEIGHBOURING PRIVATE OPEN SPACE (P.O.S)



BLOCK PLAN - NEIGHBOURHOOD & SURROUNDING AREAS

- LEGEND
- ① EXISTING MULTI-UNIT DEVELOPMENT
  - ② EXISTING DUPLEX DEVELOPMENT
  - ③ EXISTING MULTIPLEX DEVELOPMENT



NEIGHBOURHOOD PHOTOS



VIEW 1



VIEW 2



VIEW 3



VIEW 4

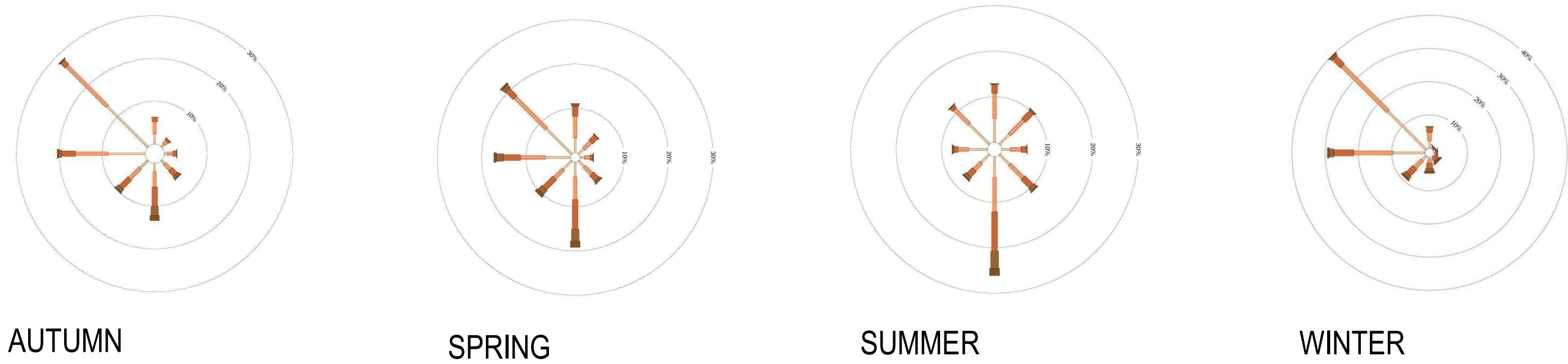


VIEW 5



VIEW 6

WIND ROSE ANALYSIS



AUTUMN

SPRING

SUMMER

WINTER

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	16/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
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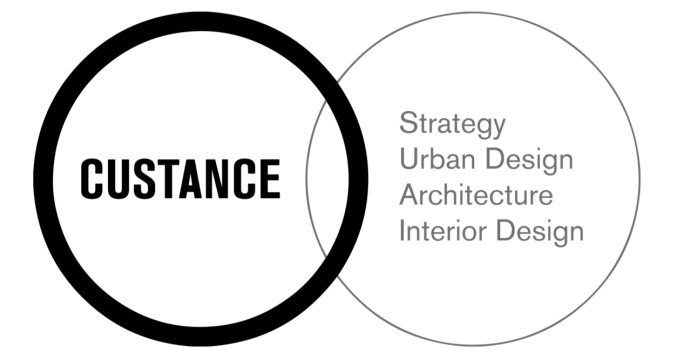
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### Consultants

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Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JIN  
Civil / Stormwater: JIN  
Hydraulic: JIN  
Electrical: JIN  
BASIX / NatHERS Certification:  
Traffic Consultant:

### Client



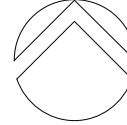
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DP 35818  
LOTS 57,58,59 & 60 in  
SENIOR HOUSING DEVELOPMENT

### Sheet Title

### SITE ANALYSIS

### NORTH



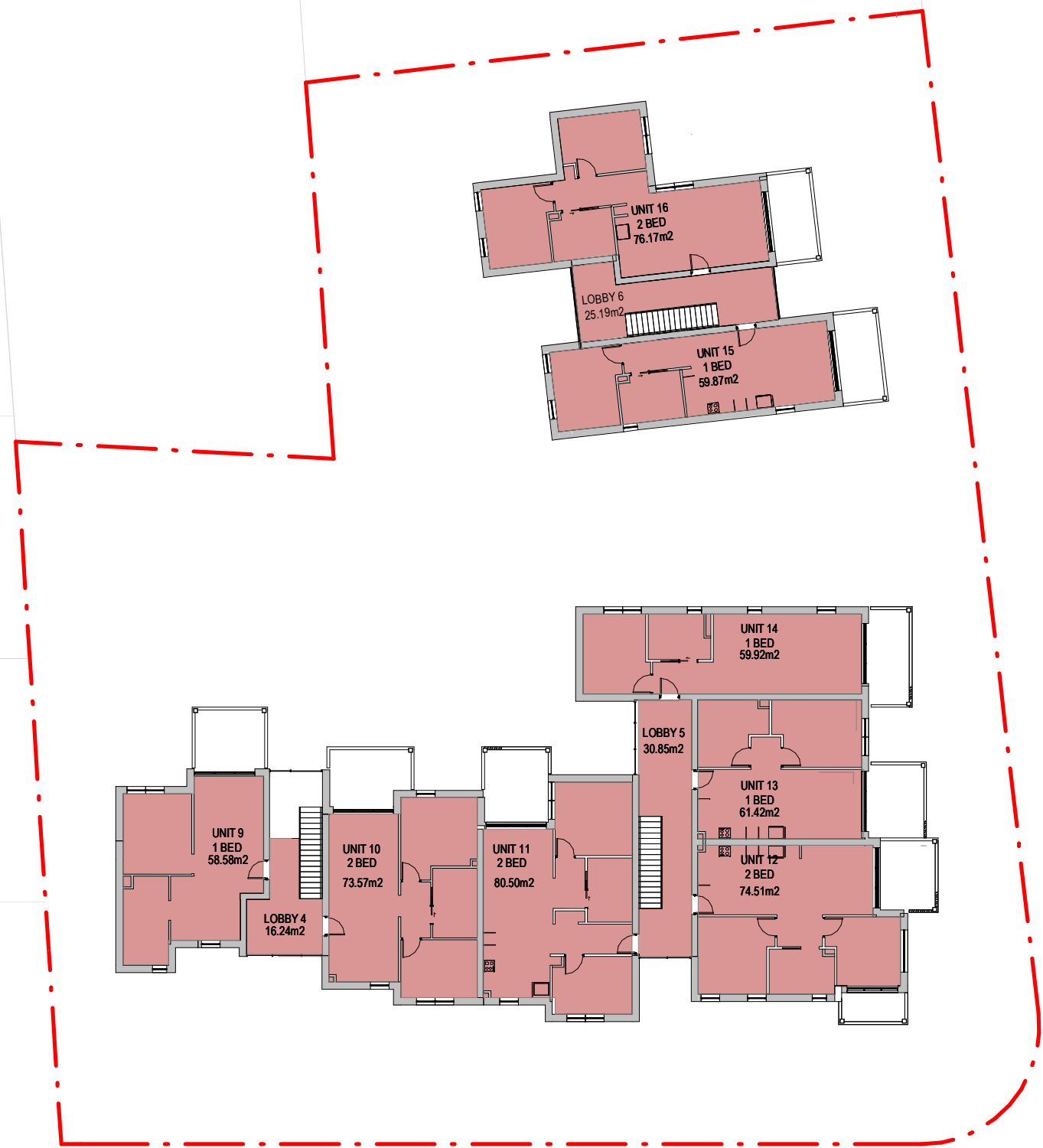
Drawn	Checked	Scale
JP	RW	As indicated @ A1

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Project No.	Sheet No.	Revision
3418	DA-002	5



4/2024/1/1



2 FSR - LEVEL 1  
DA-017 1 : 300



4 PRIVATE OPEN SPACE - LEVEL 1  
DA-017 1 : 300



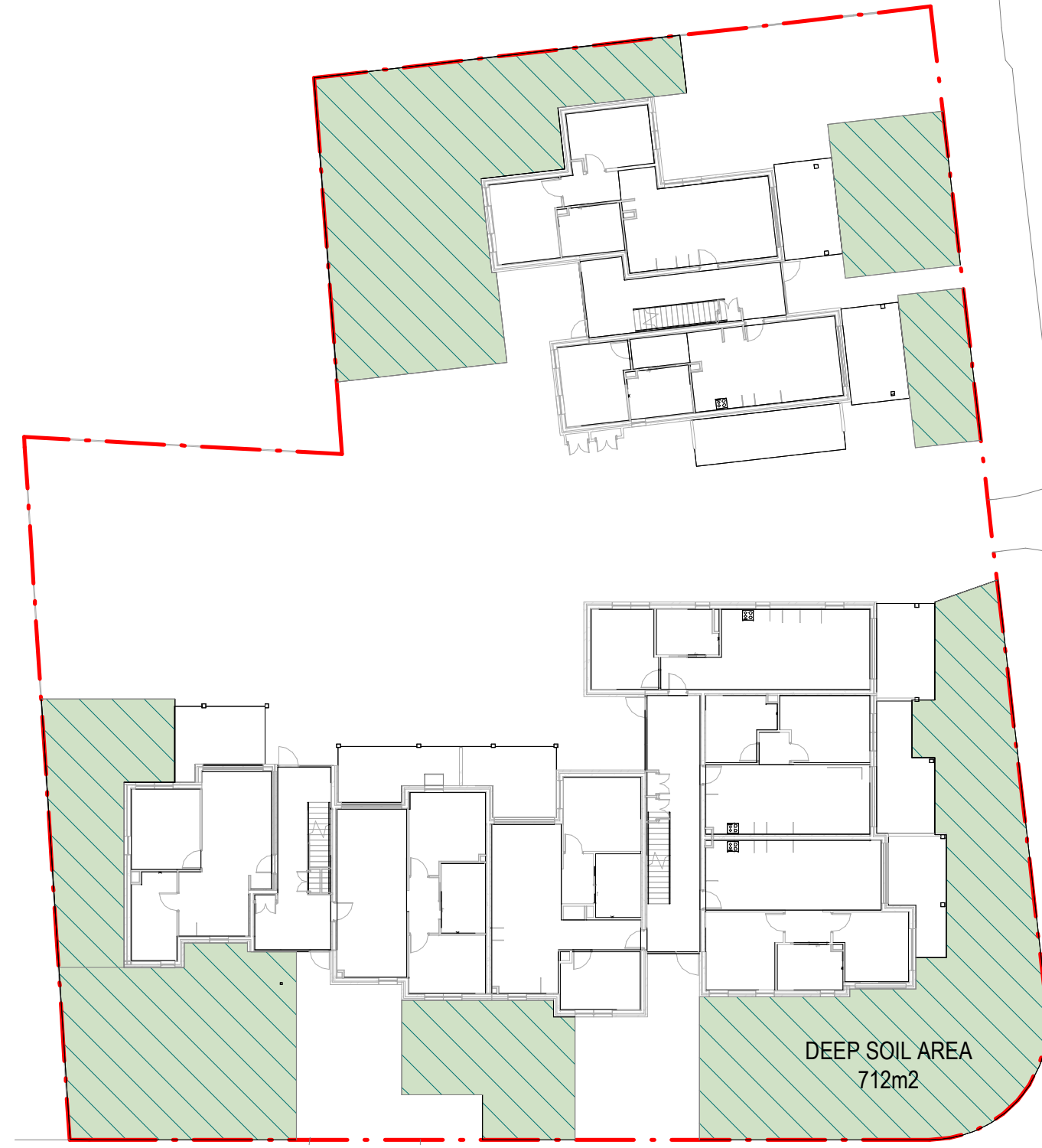
5 LANDSCAPE AREA  
DA-017 1 : 300



1 FSR - GROUND LEVEL  
DA-017 1 : 300



3 PRIVATE OPEN SPACE - GROUND LEVEL  
DA-017 1 : 300



6 DEEP SOIL  
DA-017 1 : 300

DEVELOPMENT DATA

	FSR	PrivateOpen Space	Total
UNIT 1 - 1 BED	58.58m2	15.04m2	73.62m2
UNIT 2 - 2 BED	73.57m2	15.62m2	89.19m2
UNIT 3 - 2 BED	80.50m2	15.36m2	95.86m2
UNIT 4 - 2 BED	74.51m2	15.26m2	89.77m2
UNIT 5 - 1 BED	60.98m2	17.07m2	78.05m2
UNIT 6 - 1 BED	59.92m2	15.00m2	74.92m2
UNIT 7 - 1 BED	59.87m2	15.00m2	74.87m2
UNIT 8 - 2 BED	76.17m2	15.00m2	91.17m2
UNIT 9 - 1 BED	58.58m2	11.08m2	69.66m2
UNIT 10 - 2 BED	73.57m2	11.63m2	85.20m2
UNIT 11 - 2 BED	80.50m2	12.32m2	92.82m2
UNIT 12 - 2 BED	74.51m2	15.38m2	89.89m2
UNIT 13 - 1 BED	61.42m2	10.76m2	72.18m2
UNIT 14 - 1 BED	59.92m2	10.34m2	70.26m2
UNIT 15 - 1 BED	59.87m2	10.12m2	69.99m2
UNIT 16 - 2 BED	76.17m2	10.02m2	86.19m2
LOBBY 1.	23.61m2		
LOBBY 2.	30.05m2		
LOBBY 3.	24.92m2		
LOBBY 4.	16.24m2		
LOBBY 5.	30.85m2		
LOBBY 6.	25.19m2		
Totals	1239.50m2	215.00m2	1454.5m2

LEGEND

P.O.S (Min 3x3)

Landscaping

Road / Parking

T4 Tree Number

Trees to be retained

Existing trees to be removed

Existing Buildings to be removed

SRZ

Proposed

Existing

Indicative Deep soil zone

RW = Proposed retaining wall / downturn

Footpath / Ramps

FLOOR FINISHES

NS-CT Non Slip Ceramic Tile

C Carpet

KEY:

ROOM NAME. eg. BEDROOM 2.

LxW 3600x3300

FLOOR FINISH C

TS vertical timber battren

screen around clothes

lines

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
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4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 18/01/24	18/01/2024

Part 5 Submission

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Consultants

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Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
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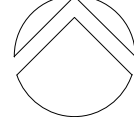
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Sheet Title

DEVELOPMENT DATA

NORTH



Drawn	Checked	Scale
JP	RW	As indicated @ A1

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Project No.	Sheet No.	Revision
3418	DA-004	5



Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	16/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 500124	18/01/2024
6	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 15/05/24	17/05/2024

## Part 5 Submission

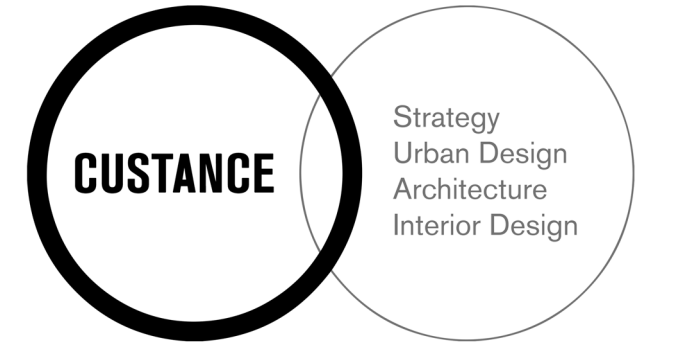
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BASIX / NatHERS Certification:  
Traffic Consultant:

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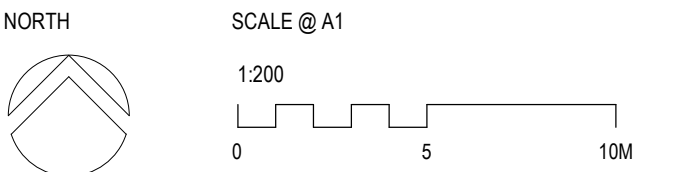


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#### Sheet Title

### SITE PLAN



Drawn	Checked	Scale
JP	RW	1 : 200 @ A1

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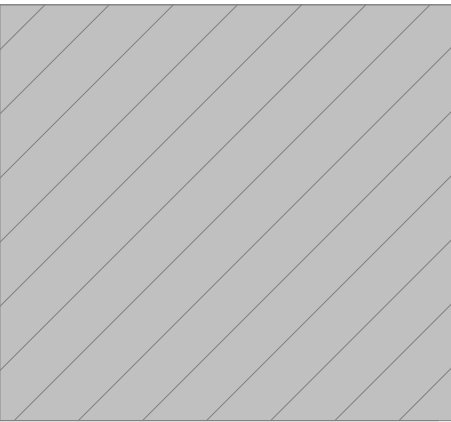
Project No.	Sheet No.	Revision
3418	DA-005	6



With the sewer running adjacent to the booster may need to be concrete encased also due to the need for a protection wall being installed. The pipe is noted to be 2.5mtrs deep so may not need to be encased. A WSC will need to confirm this. The protection wall will fall in the 900mm zone of the pipe and will need to be designed to not pose any vertical load on the sewer asset. Documentation will need to be issued as part of the submission to Sydney Water for their approval by a WSC.

The sewer running below the buildings will need to be concrete encased with structural engineer's drawings to show no vertical load is being imposed on the sewer asset. Documentation will need to be issued as part of the submission to Sydney Water for their approval by a WSC.

APPROX BUILDING POSITION NOT INCLUDED IN SURVEY



### LEGEND

- P.O.S (Min 3x3)
- Landscaping
- Road / Parking
- T4 Tree Number
- Trees to be retained
- Existing trees to be removed
- Existing Buildings to be removed
- SRZ
- Proposed
- Existing
- Indicative Deep soil zone
- RW = Proposed retaining wall / downturn
- Footpath / Ramps

### FLOOR FINISHES

- NS-CT Non Slip Ceramic Tile
- C Carpet

### KEY:

ROOM NAME. eg. BEDROOM 2.  
LxW 3600x3300  
FLOOR FINISH C

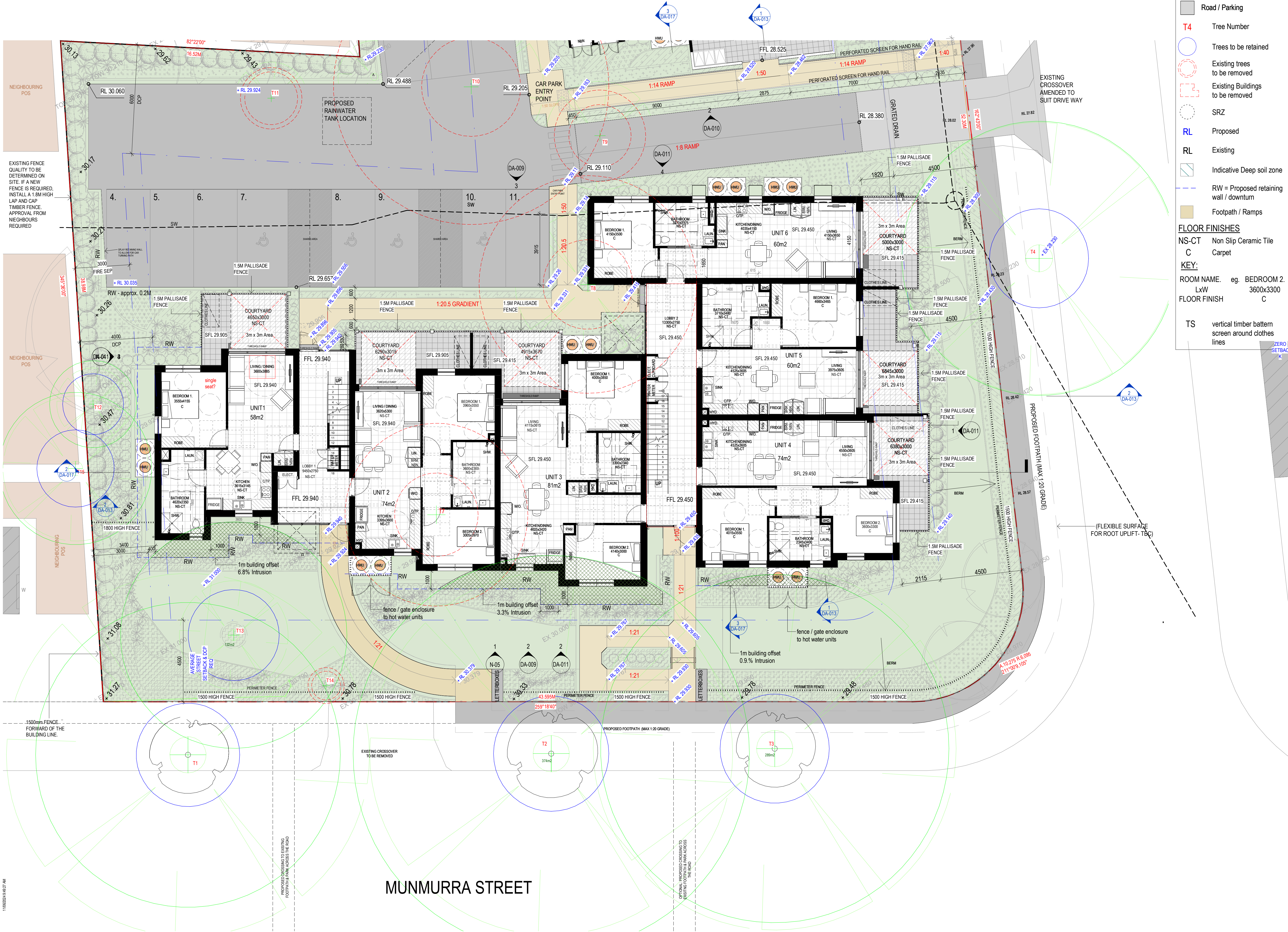
- TS vertical timber battens screen around clothes lines

MUNMURRA RD.

BERNADOTTE STREET



REFER TO DRAWING DA-006 FOR ADJOINING INFORMATION



**LEGEND**

- P.O.S (Min 3x3)
- Landscaping
- Road / Parking
- T4 Tree Number
- Trees to be retained
- Existing trees to be removed
- Existing Buildings to be removed
- SRZ
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- Existing
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- FLOOR FINISHES**
- NS-CT Non Slip Ceramic Tile
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Landscape Architect: Site Image  
Access Consultant: AI Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

Client

**NSW GOVERNMENT**

**CUSTANCE**

Strategy  
Urban Design  
Architecture  
Interior Design

**SYDNEY**  
Suite 604 Level 6, 46 Kippax St  
Surry Hills NSW 2010  
Australia

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Project  
10-14 MUNMURRA RD. & 5 BERNADOTTE ST,  
RIVERWOOD, NSW 2210  
DP 35818

LOTS 57,58,59 & 60 in  
SENIOR HOUSING DEVELOPMENT

**GENERAL ARRANGEMENT PLAN - GROUND LEVEL - PART 2**

NORTH

SCALE @ A1  
1:100  
0 2.5 5M

Drawn Author  
Checked Checker  
Scale As indicated @ A1

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4/2024



**LEGEND**

- P.O.S (Min 3x3)
- Landscaping
- Road / Parking
- T4 Tree Number
- Trees to be retained
- Existing trees to be removed
- Existing Buildings to be removed
- SRZ
- Proposed
- Existing
- Indicative Deep soil zone
- RW = Proposed retaining wall / downturn
- Footpath / Ramps

**FLOOR FINISHES**

- NS-CT Non Slip Ceramic Tile
- C Carpet

**KEY:**

ROOM NAME: eg. BEDROOM 2  
LxW 3600x3300  
FLOOR FINISH C

TS vertical timber battens screen around clothes lines

Revision	Description	Date
1	ISSUE FOR REVIEW	10/05/23
2	ISSUE TO LANDSCAPE ARCHITECT	02/08/2023
3	DRAFT PART 5 SUBMISSION	18/09/2023
4	PART 5 SUBMISSION	04/10/2023
5	PART 5 ISSUE	17/11/2023
6	DA PART 5 ISSUE	21/12/2023
7	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24	18/01/2024
8	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 19/05/24	17/05/2024

Part 5 Submission

- NOTES : DEVELOPMENT APPLICATION**
- DESIGN RESOLUTION
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Consultants

Arboret: Arterra  
Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:



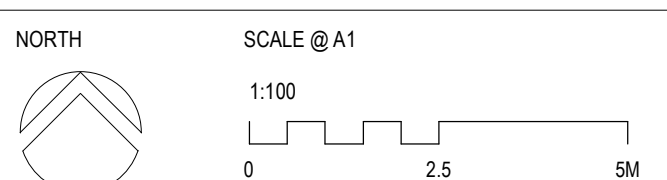
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DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title

GENERAL ARRANGEMENT PLAN - GROUND LEVEL - PART 1



Drawn	Checked	Scale
JP	RW	As indicated @ A1

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REFER TO DRAWING DA-006.A FOR ADJOINING INFORMATION



Revision	Description	Date
1	ISSUE FOR REVIEW	10/05/23
2	DRAFT PART 5 SUBMISSION	18/09/2023
3	PART 5 SUBMISSION	04/10/2023
4	PART 5 SUBMISSION	06/10/2023
5	PART 5 ISSUE	17/11/2023
6	DA PART 5 ISSUE	21/12/2023
7	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24	18/01/2024
8	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 19/05/24	17/05/2024

## Part 5 Submission

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#### Consultants

Arbortist: Arterra  
Landscape Architect: Site Image  
Access Consultant: AI Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

#### Client



#### SYDNEY

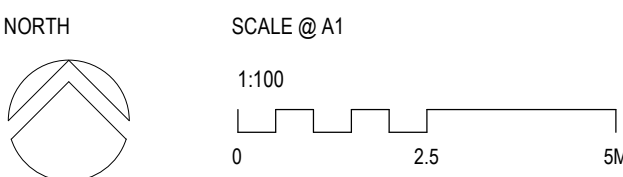
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Australia

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#### Sheet Title

### GENERAL ARRANGEMENT PLAN - LEVEL 1



Drawn	Checked	Scale
JP	RW	As indicated @ A1

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Project No.  
3418

Sheet No.  
**DA-007**

Revision  
**8**

#### LEGEND

P.O.S (Min 3x3)

Landscaping

Road / Parking

T4 Tree Number

Trees to be retained

Existing trees to be removed

Existing Buildings to be removed

SRZ

Proposed

Existing

Indicative Deep soil zone

RW = Proposed retaining wall / downturn

Footpath / Ramps

#### FLOOR FINISHES

NS-CT Non Slip Ceramic Tile

C Carpet

#### KEY:

ROOM NAME. eg. BEDROOM 2.

LxW 3600x3300

FLOOR FINISH C

TS vertical timber battren screen around clothes lines

BERNADOTTE STREET

1 DA-010

4 N-03

1 DA-009

RL 28.02

WOC 05

0037-291

RL 27.82

RL 28.23

2 DA-013

1 DA-011

2 DA-017

RL 28.57

A 110.216 & 108

21.006.008

2

LEVEL 1 FLOOR PLAN

1 : 100



KEY  
GU = GUTTER  
MC = METAL CLADDING (ROOF)  
REFER ALSO TO THE EXTERNAL  
FINISHES SCHEDULE

## Part 5 Submission

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#### Consultants

Arboret: Arterra  
Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

#### Client

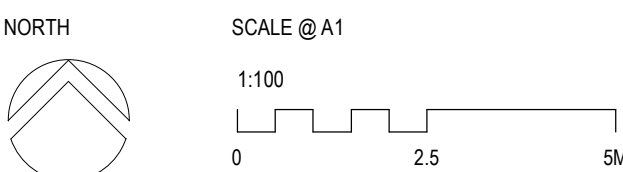


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#### Sheet Title

### ROOF PLAN



Drawn: JP  
Checked: RW  
Scale: As indicated @ A1

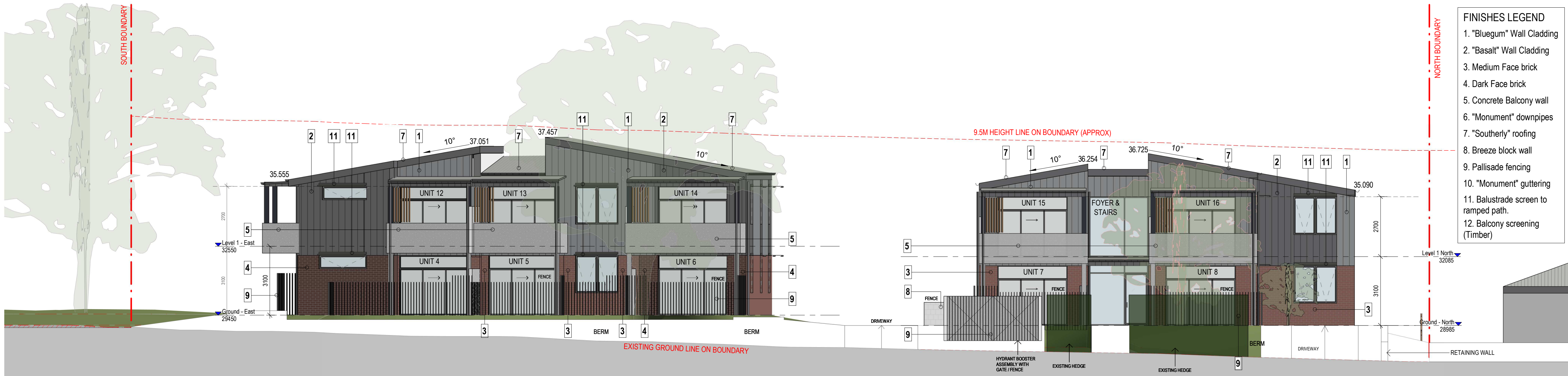
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Project No. 3418  
Sheet No. DA-008  
Revision 5

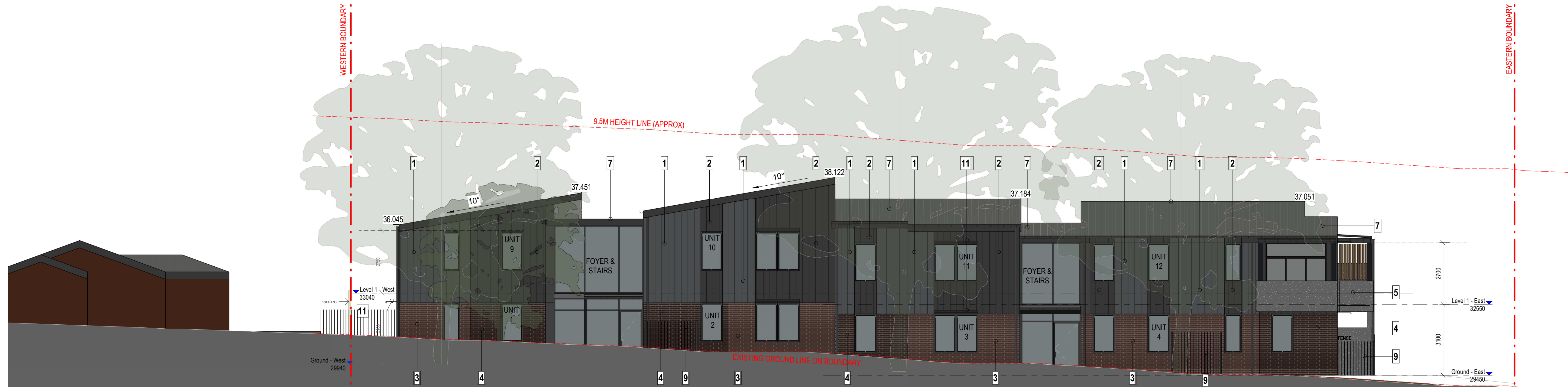
BERNADOTTE STREET







1 BERNADOTTE STREET - EAST ELEVATION  
DA-006 1 : 100



2 MUNMURRA STREET - SOUTH ELEVATION  
DA-006.A 1 : 100



3 INTERNAL - NORTH ELEVATION  
DA-006 1 : 100

- FINISHES LEGEND**
1. "Bluegum" Wall Cladding
  2. "Basalt" Wall Cladding
  3. Medium Face brick
  4. Dark Face brick
  5. Concrete Balcony wall
  6. "Monument" downpipes
  7. "Southerly" roofing
  8. Breeze block wall
  9. Pallisade fencing
  10. "Monument" guttering
  11. Balustrade screen to ramped path.
  12. Balcony screening (Timber)

## Part 5 Submission

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#### Consultants

Arboret: Arterra  
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Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

#### Client



BERNADOTTE STREET



#### SYDNEY

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DP 35818 SENIOR HOUSING DEVELOPMENT

#### Sheet Title

### EXTERNAL ELEVATIONS

SCALE @ A1

1:100

0 2.5 5M

Drawn: JP  
Checked: RW  
Scale: As indicated @ A1

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Project No.  
3418

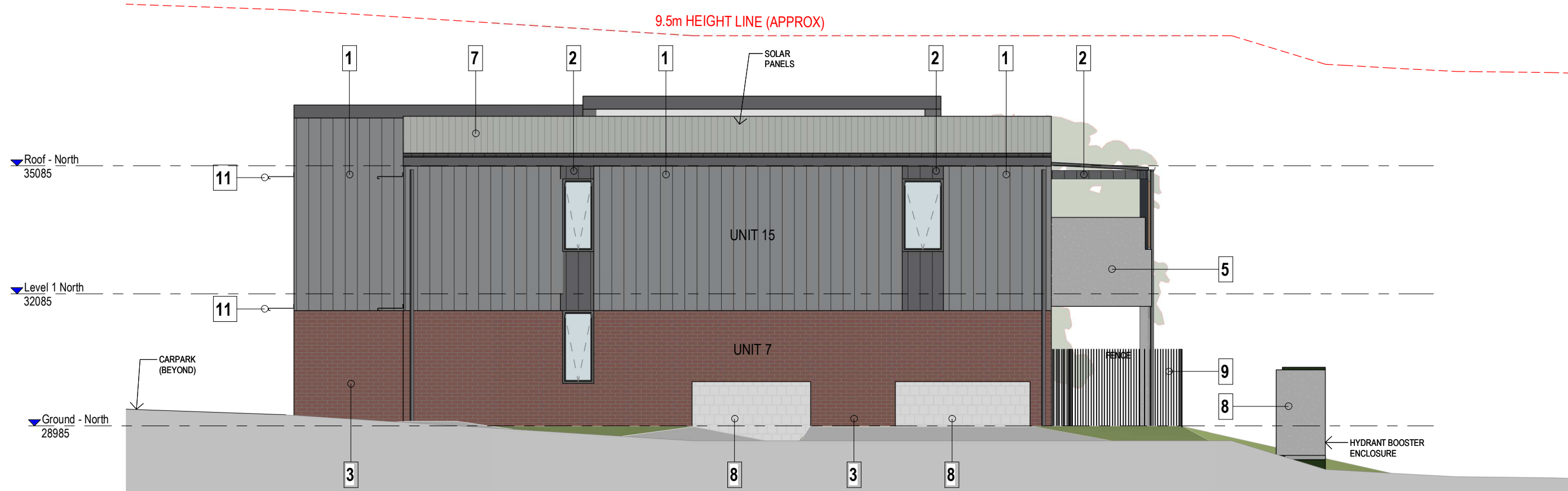
Sheet No.  
DA-009

Revision  
6

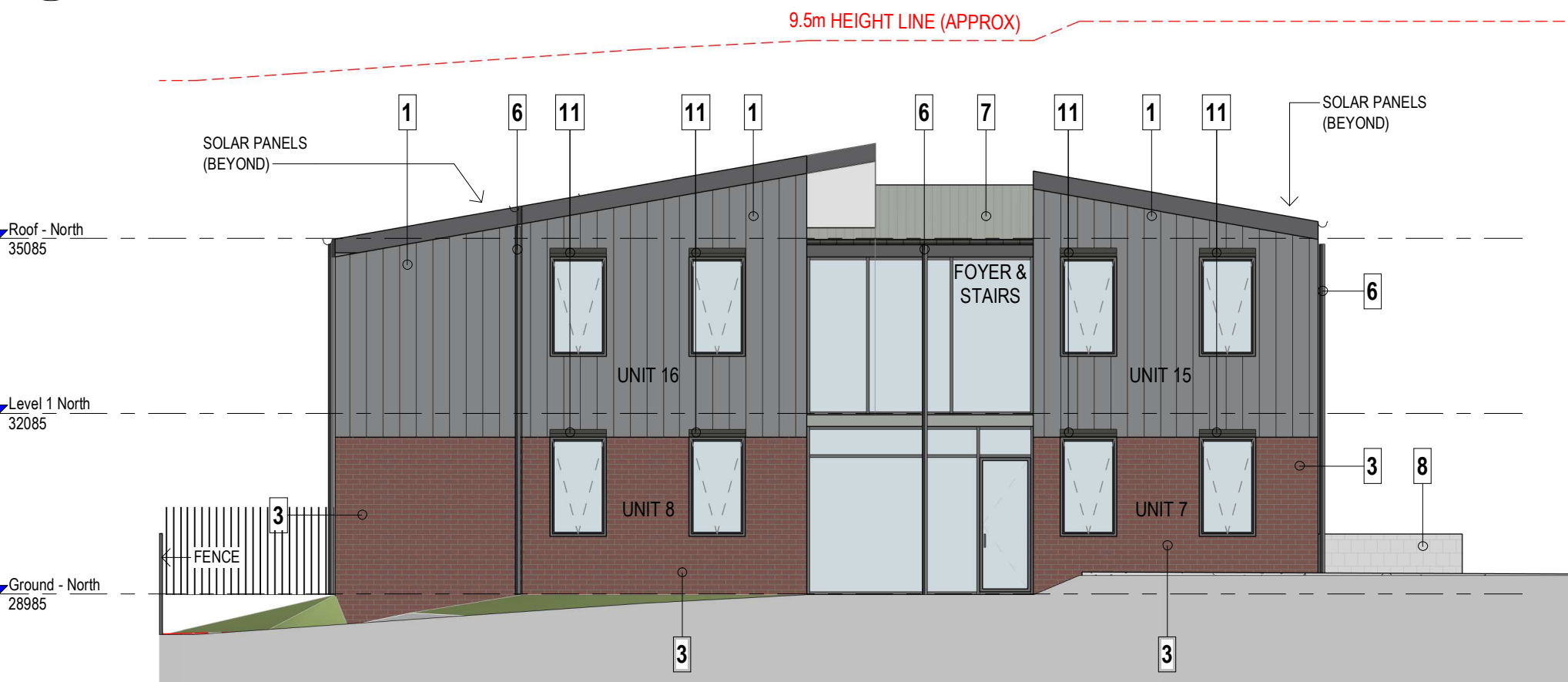




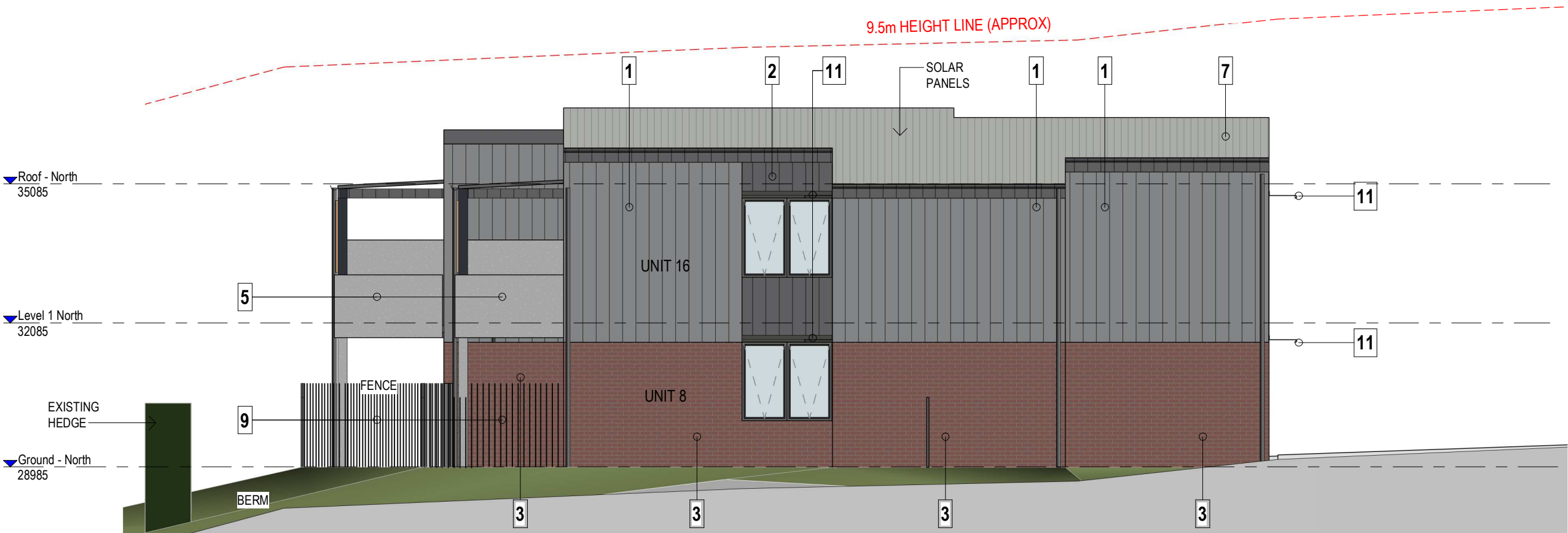
1 BUILDING 1 - EAST ELEVATION  
DA-006 / 1 : 100



2 BUILDING 1 - SOUTH ELEVATION  
DA-006 / 1 : 100



3 BUILDING 1 - WEST ELEVATION  
DA-006 / 1 : 100



4 BUILDING 1 - NORTH ELEVATION  
DA-006 / 1 : 100

#### FINISHES LEGEND

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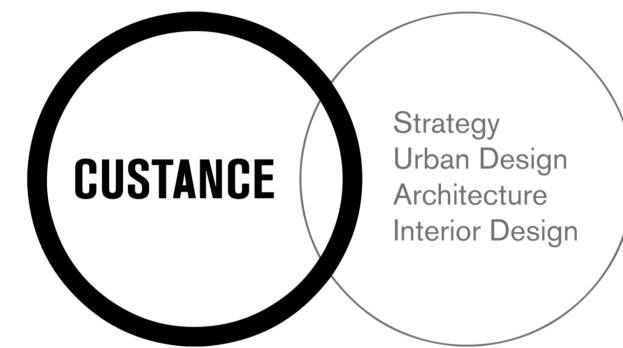
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Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / Natens Certification:  
Traffic Consultant:

##### Client



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RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in  
DP 35818 SENIOR HOUSING DEVELOPMENT

##### Sheet Title

##### EXTERNAL ELEVATIONS

SCALE @ A1

1:100

0

2.5

5M

Drawn	Checked	Scale
KL	RW	As indicated @ A1

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Project No.  
3418

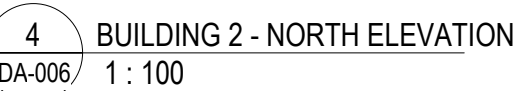
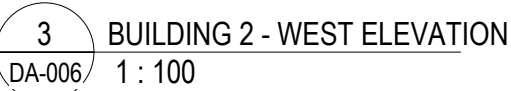
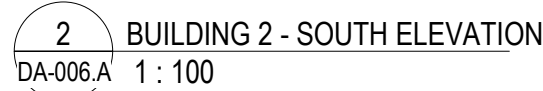
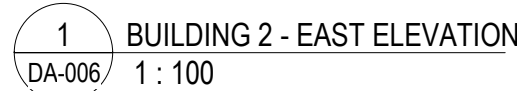
Sheet No.

DA-010

Revision

6





7



Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 05/01/24	18/01/2024

Part 5 Submission

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Sheet Title

EXTERNAL FINISHES

Drawn	Checked	Scale
JP	RW	As indicated @ A1

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Nominated Architect: Craig Sheldene 8259 (NSW), 5612 (QLD)

Project No.	Sheet No.	Revision
3418	DA-012	5

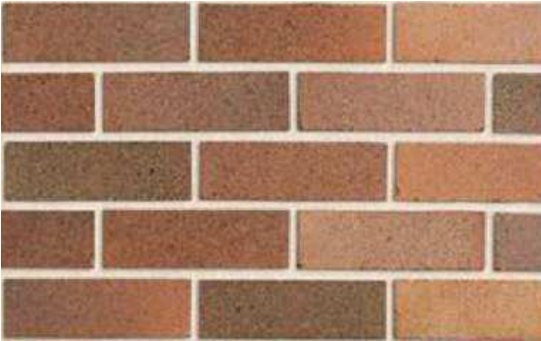
MATERIALS & COLOURS



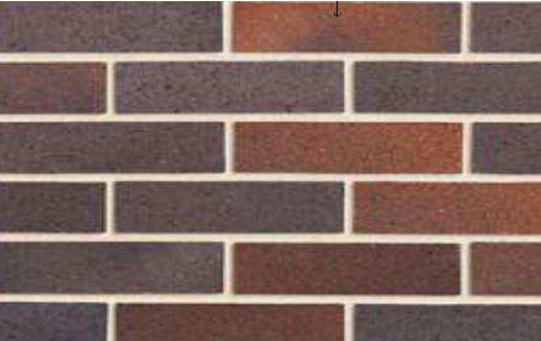
1. MEDIUM COLOURED  
WALL CLADDING



2. DARK COLOURED  
WALL CLADDING



3. MEDIUM FACE BRICK



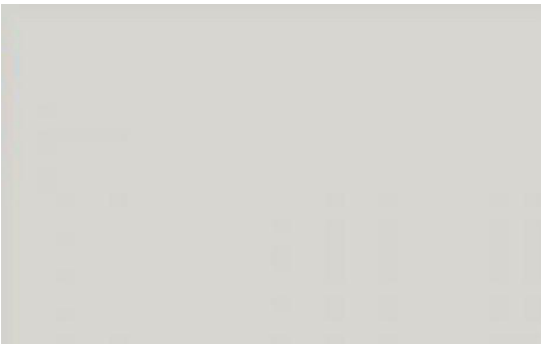
4. DARK FACE BRICK



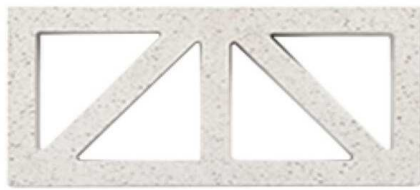
5. CONCRETE BALCONY



6. DARK COLOURED DOWNPIPES,  
FACIAS, FLASHINGS, BALCONY  
POSTS & AWNINGS



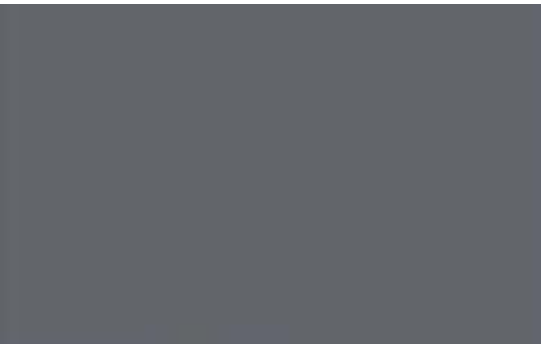
7. LIGHT COLOUR  
ROOFING



8. BREEZE BLOCK



9. PALLISADE FENCE



10. DARK GUTTERS



11. BALUSTRADE SCREEN  
TO RAMPED PATH.



12. LIGHT BALCONY  
SCREENING

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 05/01/24	18/01/2024

## Part 5 Submission

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  - Extent and location of existing and proposed neighbouring structures and services is according to the available survey information and will need to be verified on site at later stage.

**THIS DRAWING IS TO BE  
PRINTED IN COLOUR**

#### Consultants

Arboret: Arterra  
Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

#### Client



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Australia

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Project  
10-14 MUNMURRA RD. & 5 BERNADOTTE ST,  
RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in  
DP 35818 SENIOR HOUSING DEVELOPMENT

#### Sheet Title

### BUILDING SECTIONS

SCALE @ A1

1:100

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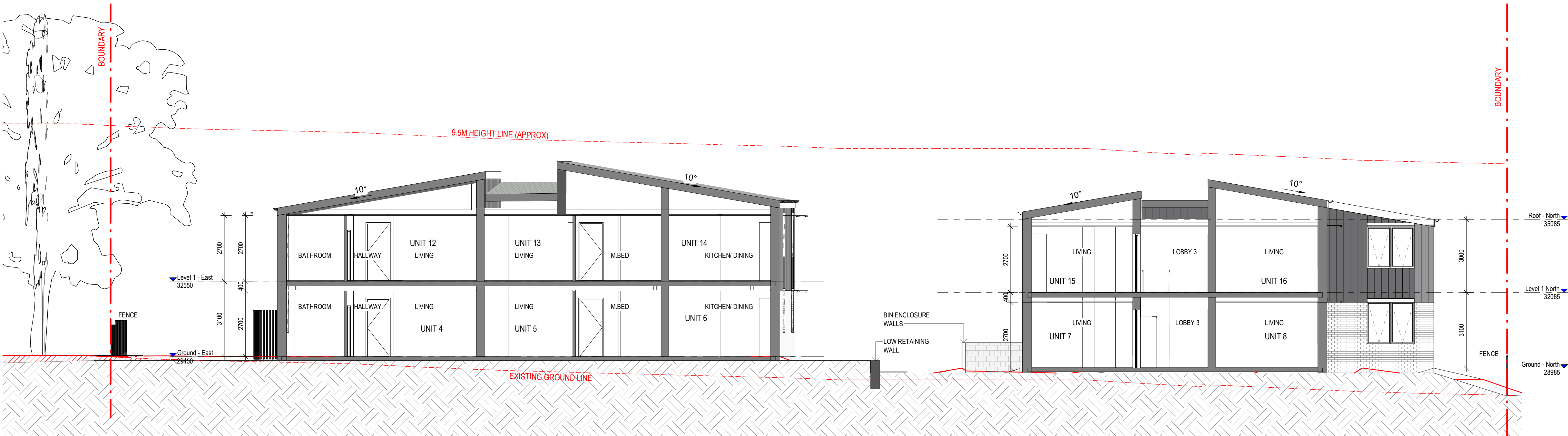
2.5

5M

Drawn	Checked	Scale
JP	RW	As indicated @ A1

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Project No.	Sheet No.	Revision
3418	DA-013	5



1 SECTION 1 - SECTION BERNADOTTE  
DA-006/ 1 : 100



2 SECTION 2 - SECTION MUNMURRA  
DA-006.A 1 : 100



Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24.	18/01/2024

## Part 5 Submission

**NOTES : DEVELOPMENT APPLICATION**

1. DESIGN RESOLUTION
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- 2. GRAPHIC PRESENTATION**  
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- 3. EXISTING STRUCTURES AND SERVICES**  
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### Consultants

Arborist: Arterra  
Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / Nathers Certification:  
Traffic Consultant:

Client



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Australia

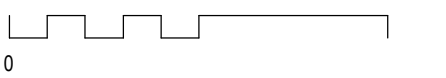
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RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in  
DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title

## SHADOW DIAGRAMS

SCALE @ A1



Drawn  
JP

Checked  
RW

As indicated @ A1

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Nominated Architect: Craig Shelsler 8259 (NSW), 5612 (QLD)

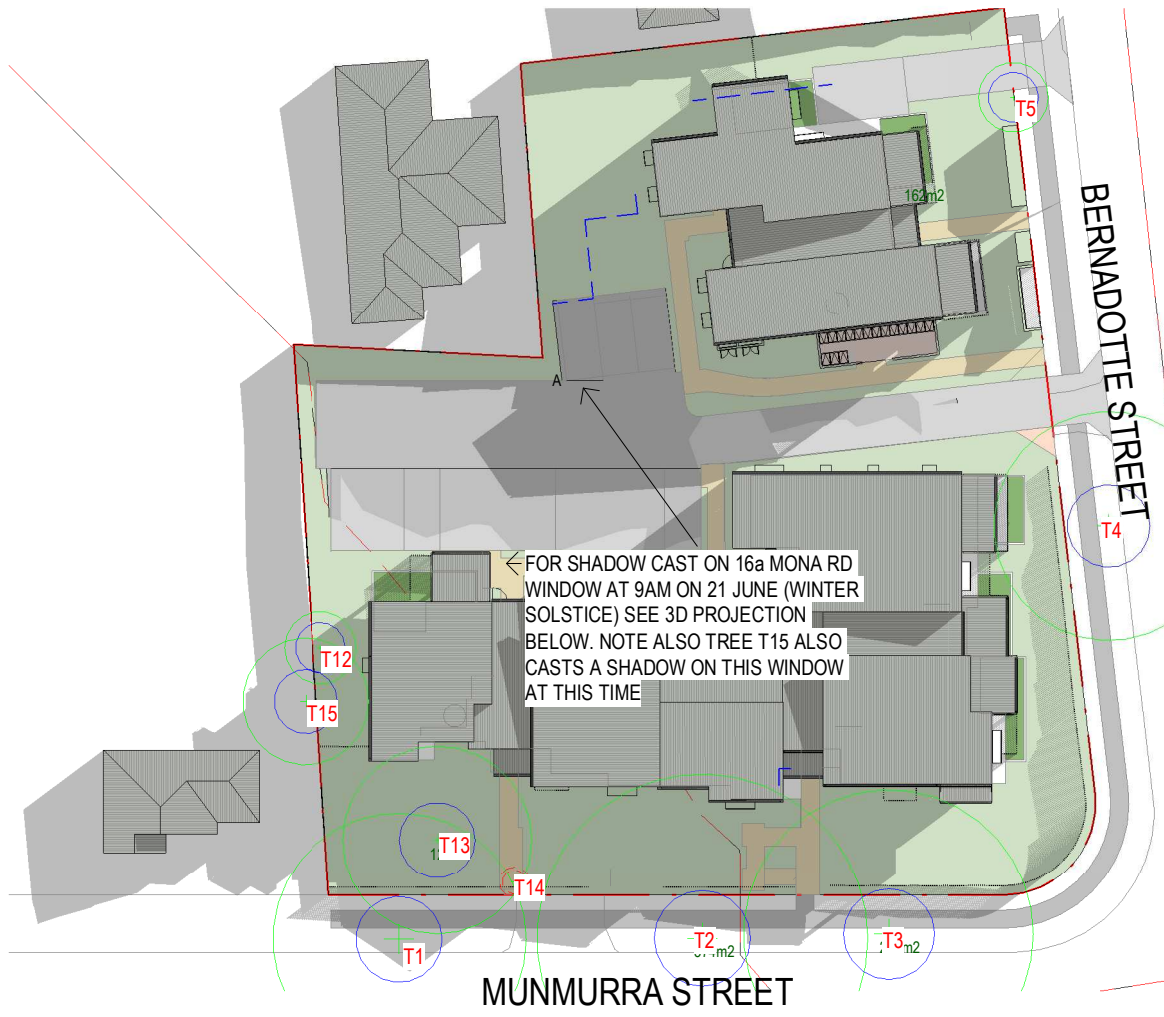
Project No.  
3418

Sheet No.

revision

DA-014

5



## SHADOW DIAGRAM - 9am. 21st June



## SHADOW DIAGRAM - 10am. 21st June



# SHADOW DIAGRAM - 11am. 21st June



### SHADOW DIAGRAM - 12 noon 21st June



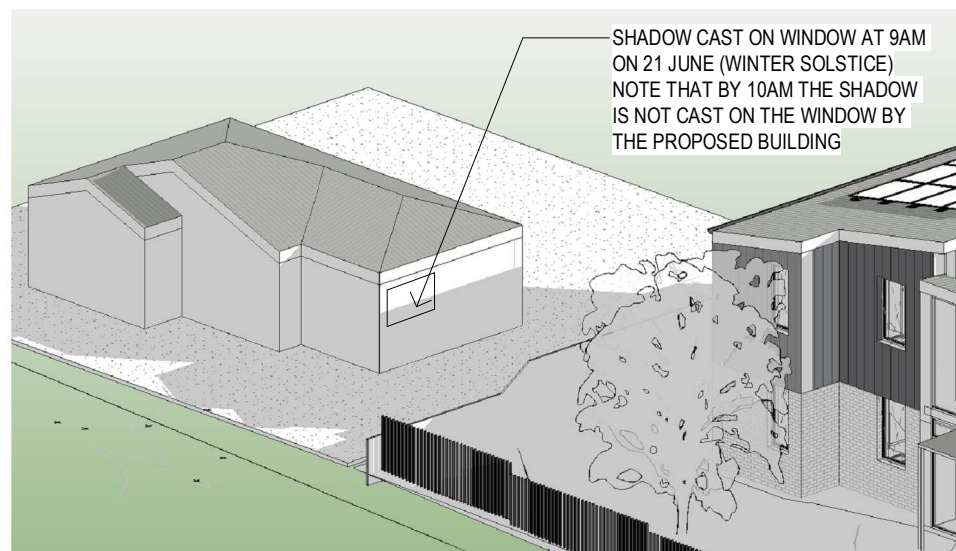
# SHADOW DIAGRAM - 1pm. 21st June



# SHADOW DIAGRAM - 2pm. 21st June



## SHADOW DIAGRAM - 3pm 21st June



SHADOW ON WINDOW  
At 16a Mona Road at 9am. 21st June





1 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 9AM



4 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 12 NOON

SOLAR ACCESS TABLE					
UNIT No.	LOUNGE	SOLAR ACCESS	POS	SOLAR ACCESS	
UNIT 1	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP	
UNIT 2	10am - 2pm	4 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP	
UNIT 3	2pm	Non-Compliant	11am - 2pm	3 hours, Complies with SEPP	
UNIT 4	8am	Non-Compliant	8am - 11am	2 hours, Complies with SEPP	
UNIT 5	8am - 11am	2 hours, Complies with SEPP	8am - 12 noon	3 hours, Complies with SEPP	
UNIT 6	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP	
UNIT 7	8am - 11am	2 hours, Complies with SEPP	8am - 1pm	4 hours, Complies with SEPP	
UNIT 8	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP	
UNIT 9	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP	
UNIT 10	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP	
UNIT 11	10am - 2pm	4 hours, Complies with SEPP	11am - 2pm	3 hours, Complies with SEPP	
UNIT 12	8am	Non-Compliant	8am - 11am	2 hours, Complies with SEPP	
UNIT 13	8am - 11am	2 hours, Complies with SEPP	8am - 12 noon	3 hours, Complies with SEPP	
UNIT 14	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP	
UNIT 15	8am - 11am	2 hours, Complies with SEPP	8am - 1pm	4 hours, Complies with SEPP	
UNIT 16	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP	
13 of 16 units achieve SEPP requirements for Solar Access, or 81.25% of total development. SEPP requires min 70%. Note: SEPP Requires: Min 2 hours solar access between 9am and 3pm mid-winter.					



2 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 10AM



5 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 1PM



3 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 11AM



6 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 2PM

## Part 5 Submission

### NOTES : DEVELOPMENT APPLICATION

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#### Consultants

Arboret: Arterra  
Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

#### Client



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Project  
10-14 MUNMURRA RD. & 5 BERNADOTTE ST,  
RIVERWOOD, NSW 2210  
DP 35818  
LOTS 57,58,59 & 60 in  
SENIOR HOUSING DEVELOPMENT

#### Sheet Title

**SOLAR ACCESS STUDIES - BERNADOTTE ST**

Drawn: KL  
Checked: RW  
Scale: As indicated @ A1

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Project No. 3418  
Sheet No. DA-015  
Revision 5



Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	16/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 5601/24	18/01/2024
6	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 15/09/24	17/05/2024

## Part 5 Submission

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#### 2. GRAPHIC PRESENTATION

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#### 3. EXISTING STRUCTURES AND SERVICES

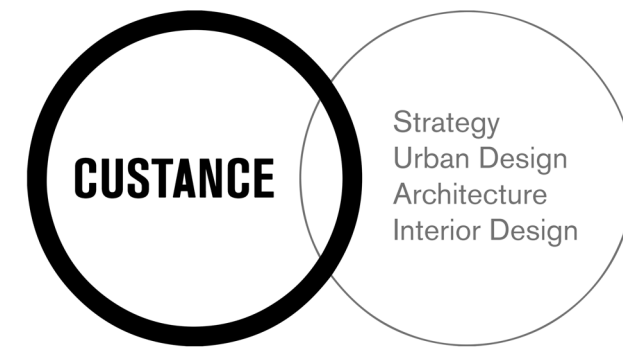
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#### Consultants

Arboret: Arterra  
Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

#### Client



#### SYDNEY

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#### Project

10-14 MUNMURRA RD. & 5 BERNADOTTE ST,  
RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in  
DP 35818 SENIOR HOUSING DEVELOPMENT

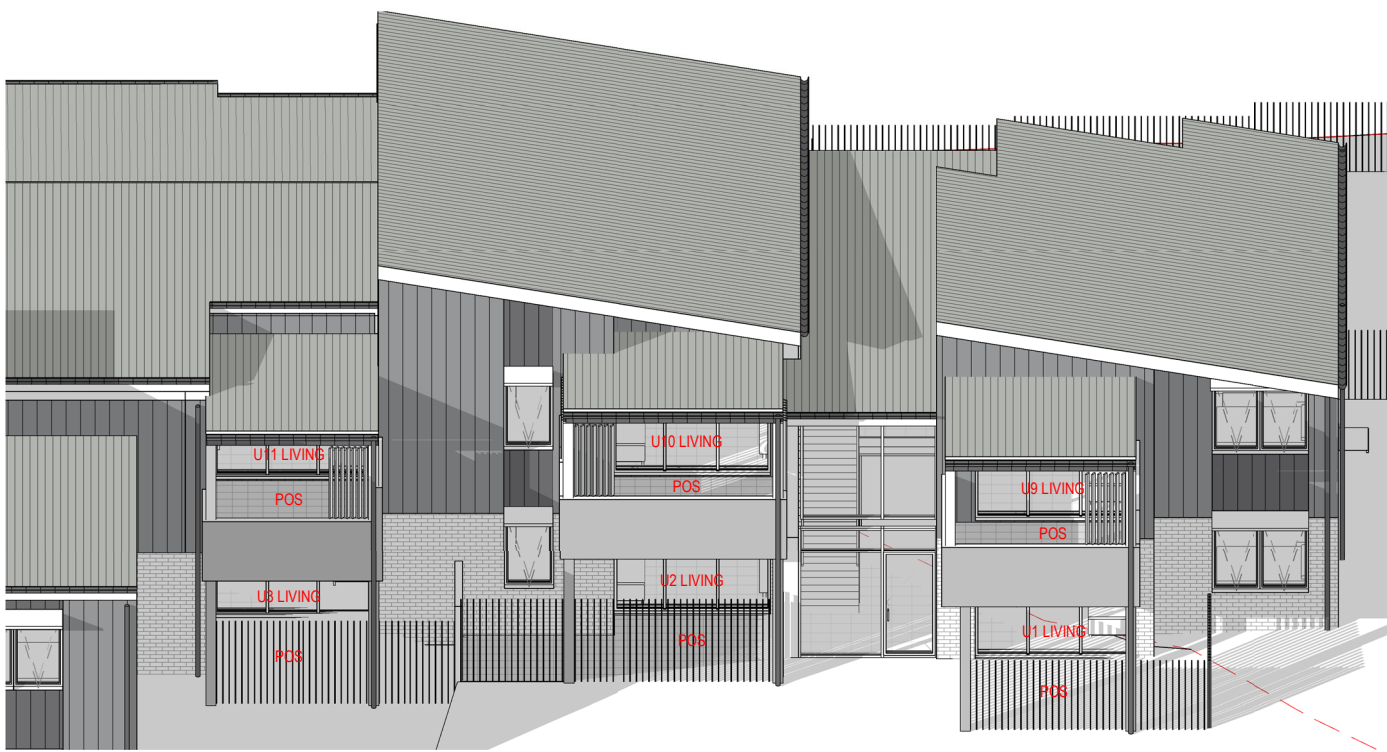
#### Sheet Title

**SOLAR ACCESS STUDIES - INTERNAL  
CARPARK**

Drawn	Checked	Scale
KL	RW	As indicated @ A1

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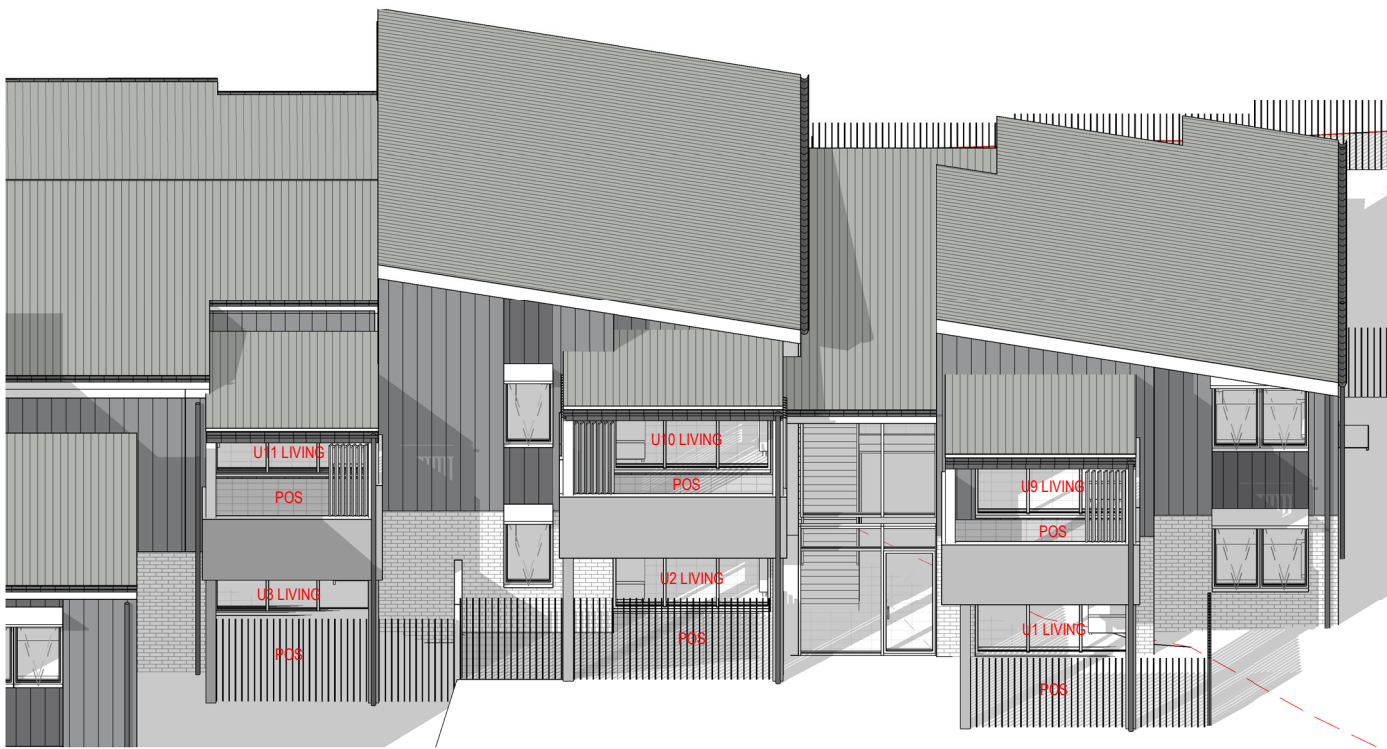
Project No.	Sheet No.	Revision
3418	DA-016	6



1 SOLAR ACCESS - CARPARK - 21 JUNE AT 9AM



4 SOLAR ACCESS - CARPARK - 21 JUNE AT 12 NOON



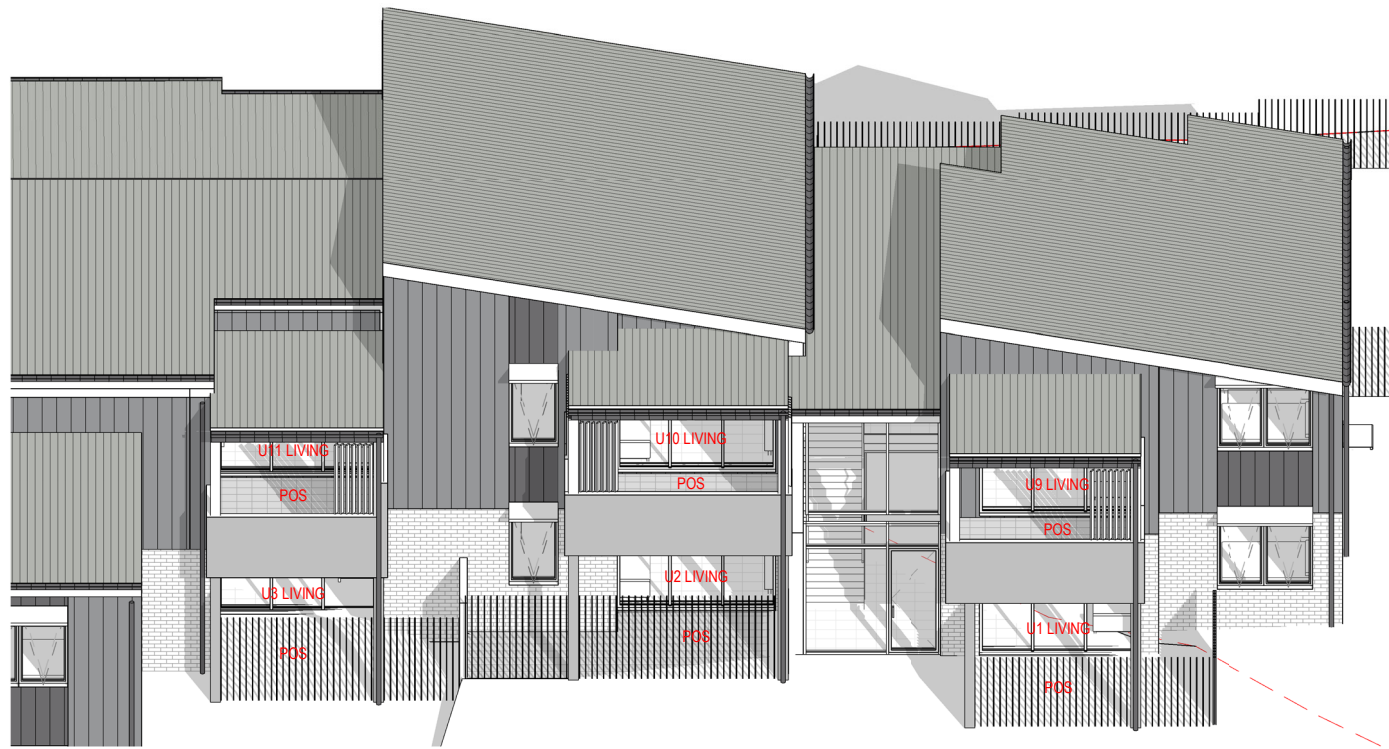
2 SOLAR ACCESS - CARPARK - 21 JUNE AT 10AM



5 SOLAR ACCESS - CARPARK - 21 JUNE AT 1PM



3 SOLAR ACCESS - CARPARK - 21 JUNE AT 11AM



6 SOLAR ACCESS - CARPARK - 21 JUNE AT 2PM



Revision	Description	Date
1	PART 5 ISSUE	17/11/2023
2	DA PART 5 ISSUE	21/12/2023
3	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24.	18/01/2024

## Part 5 Submission

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Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

#### Client

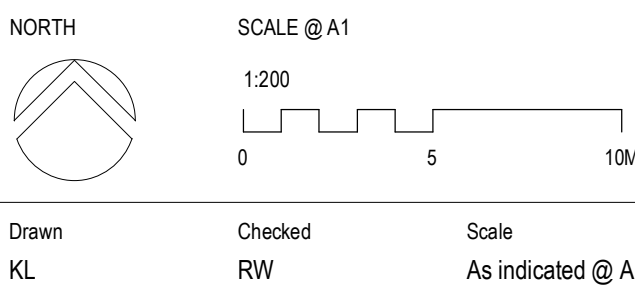


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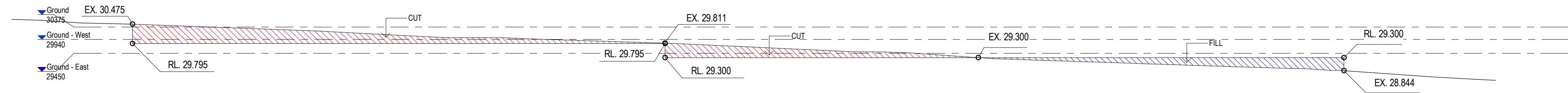
#### Sheet Title

### CUT AND FILL DIAGRAMS

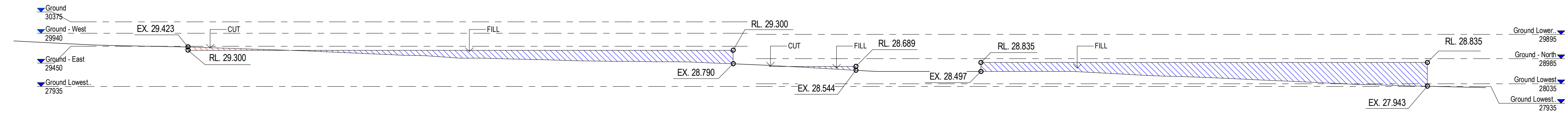


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Project No. 3418  
Sheet No. DA-017  
Revision 3



2 CUT AND FILL 1  
DA-006.A 1 : 100



3 CUT AND FILL 2  
DA-006 1 : 100



Revision	Description	Date
1	PART 5 ISSUE	17/11/2023
2	DA PART 5 ISSUE	21/12/2023
3	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24.	18/01/2024
4	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 15/05/24.	17/05/2024

## Part 5 Submission

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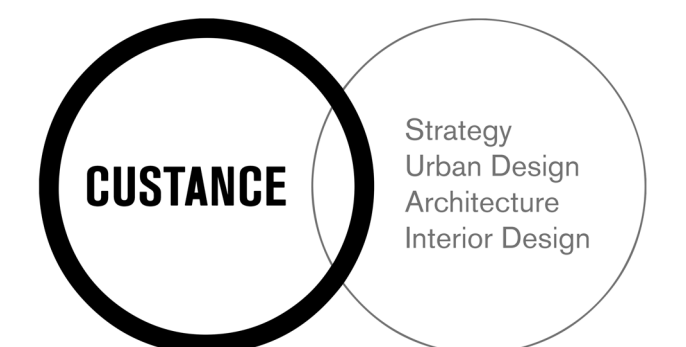
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## Consultants

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Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
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BASIX / Nathers Certification:  
Traffic Consultant:

## Client



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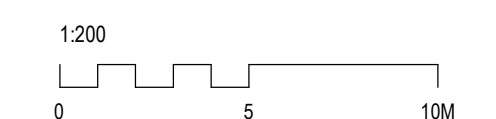
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RIVERWOOD, NSW 2210      LOTS 57,58,59 & 60 in  
DP 35818      SENIOR HOUSING DEVELOPMENT

## Sheet Title

VIEWS FROM THE SUN - SHEET 1

SCALE @ A1



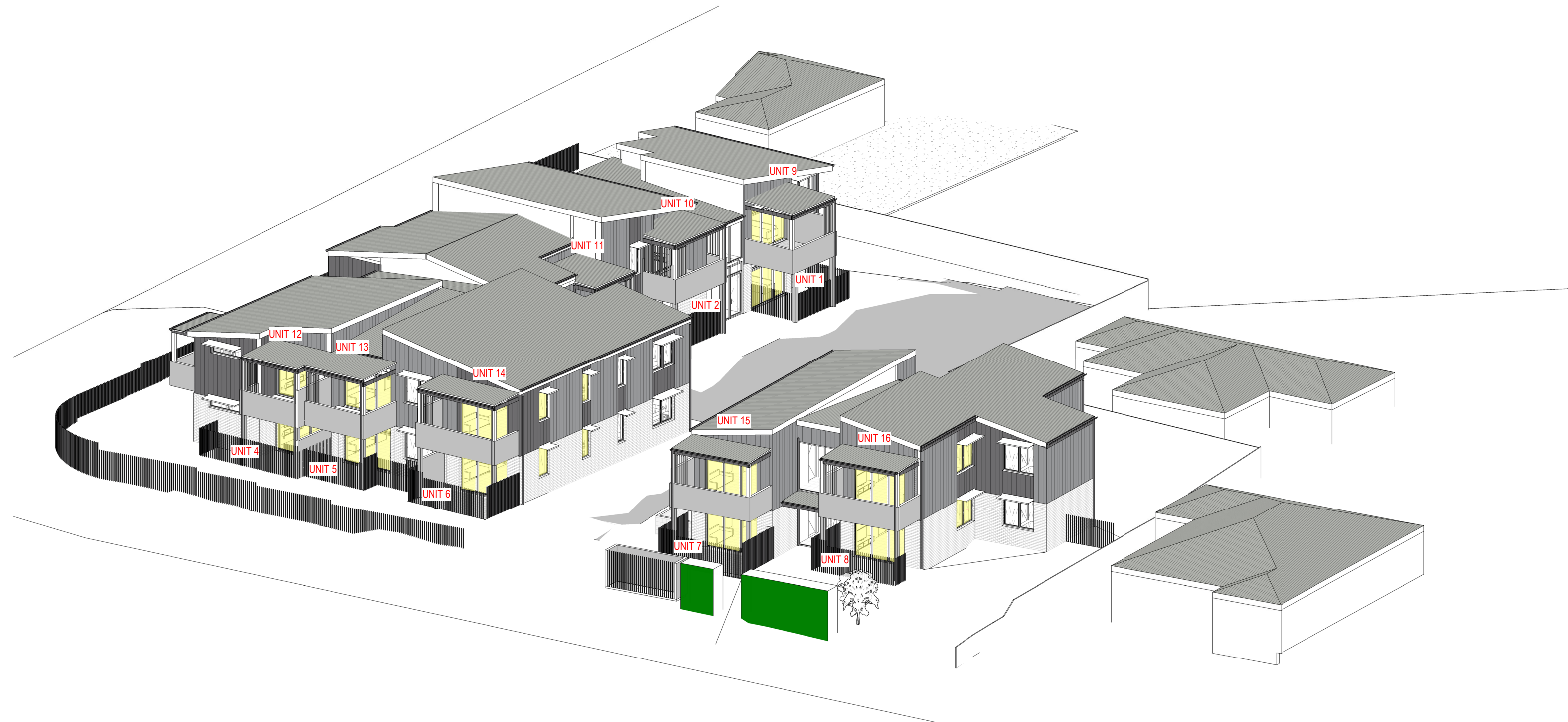
Drawn	Checked	Scale
KL	RW	1 : 200 @ A1

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Project No.  
3418

Sheet No.  
**DA-018**

sion



View From The Sun - JUNE 21 9AM



View From The Sun - JUNE 21 10AM



Revision	Description	Date
1	PART 5 ISSUE	17/11/2023
2	DA PART 5 ISSUE	21/12/2023
3	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24.	18/01/2024
4	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 15/05/24.	17/05/2024

## NOTES : DEVELOPMENT APPLICATION

**3. EXISTING STRUCTURES AND SERVICES**  
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Consultants	
-------------	--

Arborist: Arterra  
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Structural: JN  
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Traffic Consultant:

Client 



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Project  
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Sheet Title

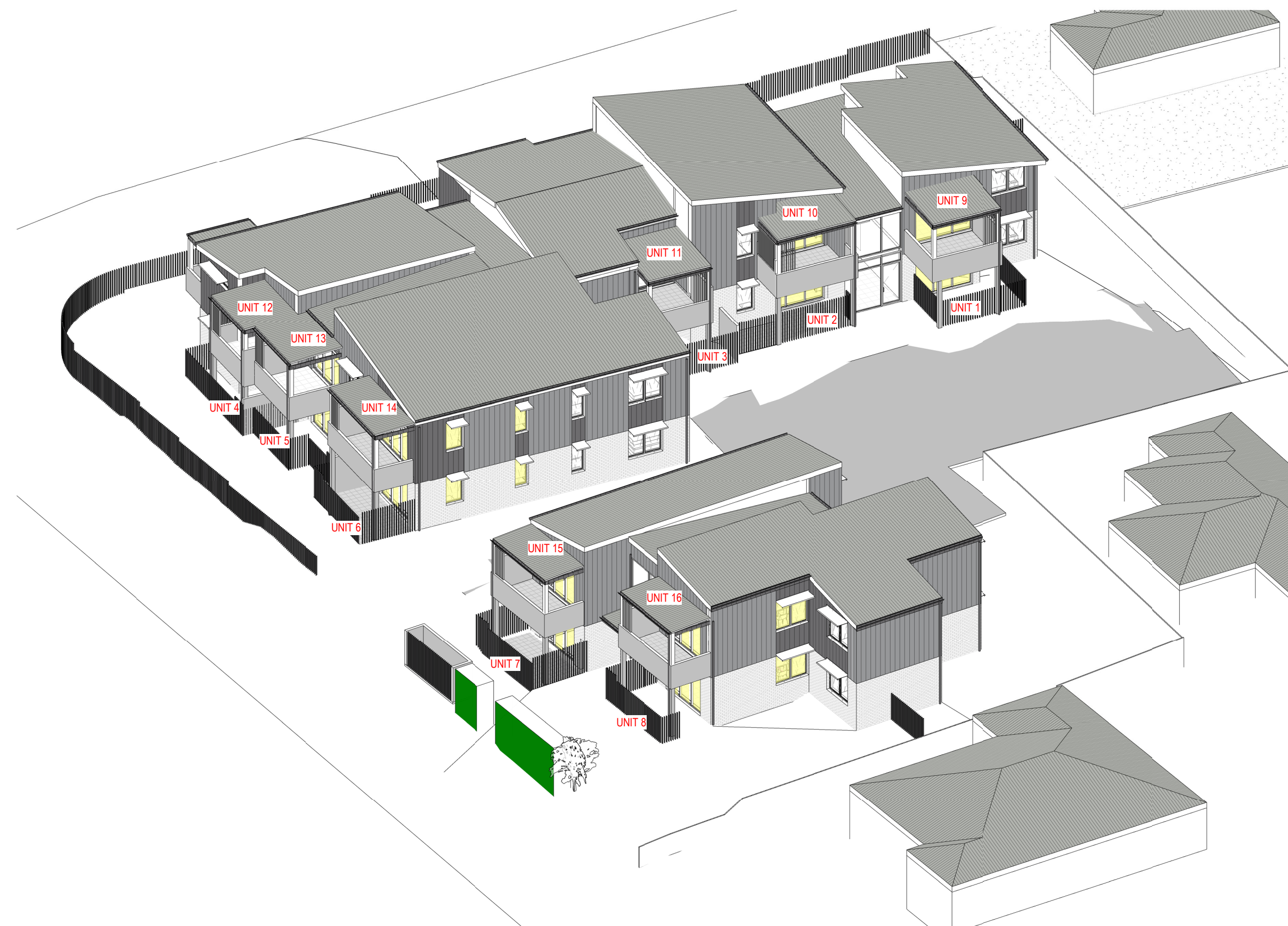
VIEWS FROM THE SUN - SHEET 2

SCALE @ A1  
1:200  
0 5 10M

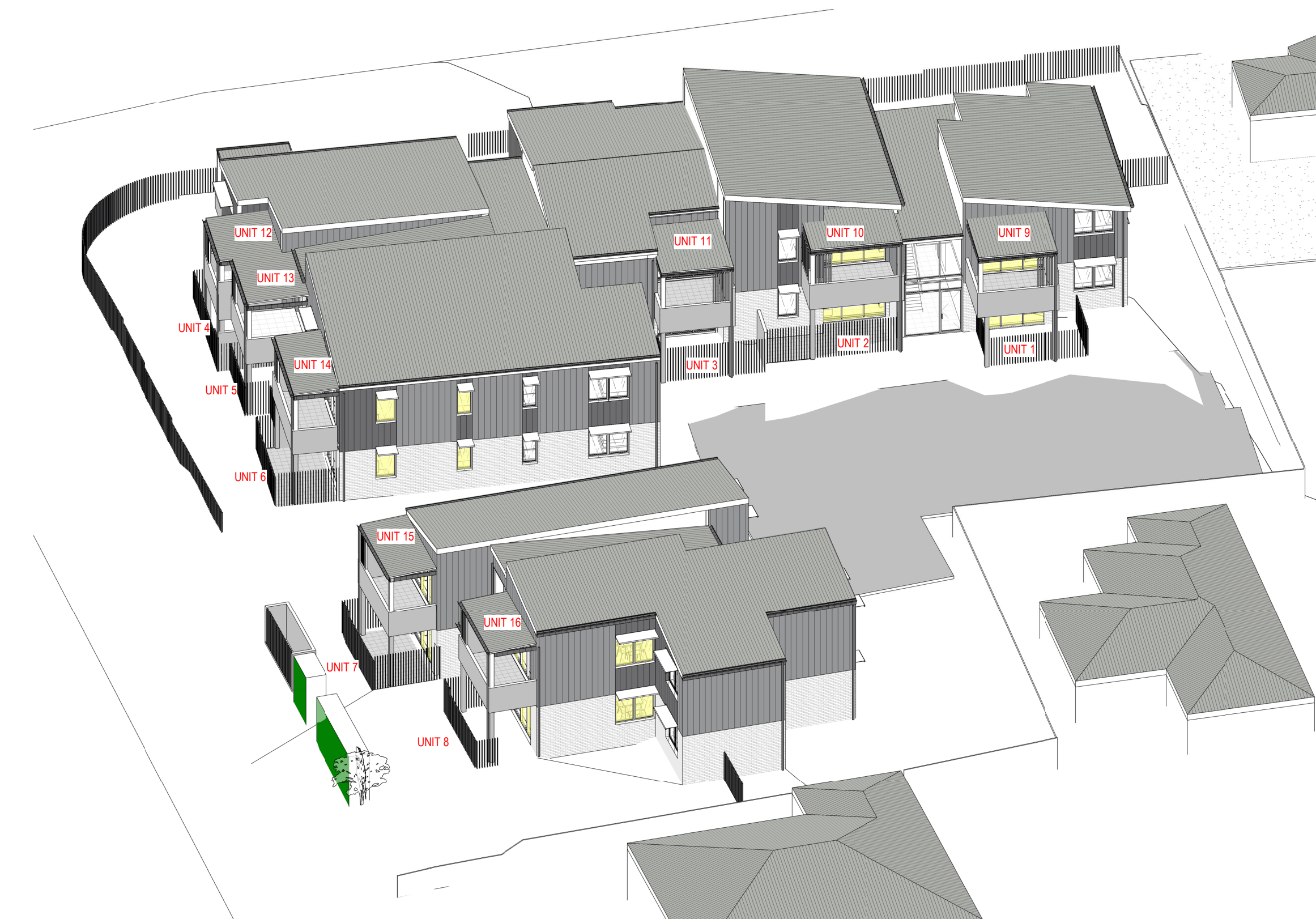
Drawn	Checked	Scale
KL	RW	1 : 200 @ A1

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Nominated Architect: Craig Shesher 8259 (NSW), 5612 (QLD)

Project No. 3418	Sheet No. DA-019	Revision 4
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View From The Sun - JUNE 21 11AM



View From The Sun - JUNE 21 12PM



Revision	Description	Date
1	PART 5 ISSUE	17/11/2023
2	DA PART 5 ISSUE	21/12/2023
3	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24.	18/01/2024
4	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 15/02/24.	17/05/2024

## Part 5 Submission

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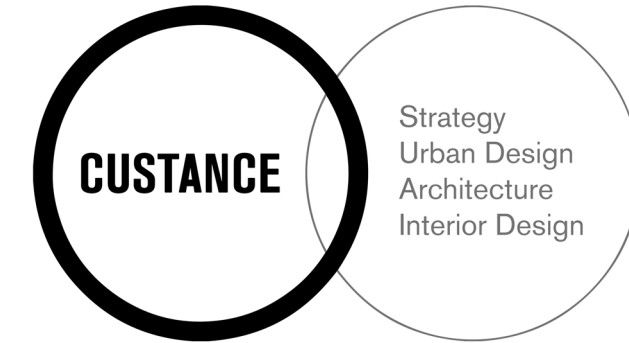
- EXISTING STRUCTURES AND SERVICES
  - Extent and location of existing and proposed neighbouring structures and services is according to the available survey information and will need to be verified on site at later stage.

**THIS DRAWING IS TO BE  
PRINTED IN COLOUR**

#### Consultants

Arboret: Arterra  
Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

#### Client



**SYDNEY**  
Suite 604 Level 6, 46 Kippax St  
Surry Hills NSW 2010  
Australia  
PH (02) 9051 0177  
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**Project**  
10-14 MUNMURRA RD. & 5 BERNADOTTE ST,  
RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in  
DP 35818 SENIOR HOUSING DEVELOPMENT

#### Sheet Title

VIEWS FROM THE SUN - SHEET 3

SCALE @ A1

1:200

0

5

10M

Drawn	Checked	Scale
KL	RW	1 : 200 @ A1

It is intended that the drawings only represent the visual design of the work. Any technical details are for outline purposes only. The Contractor/Manufacturer must separately provide all necessary shop drawings or calculations for compliance with any relevant industry, safety standards or Australian Standards, regulations or by-laws. Dimensions are to be checked on site, any discrepancies are to be referred to Custance Associates Australia Pty Ltd, in writing, prior to proceeding. Use written dimensions only. Do not use scaled dimensions. Check for latest revision issue. ©Copyright of this drawing is vested with Custance Associates Australia Pty Ltd. Nominated Architect: Craig Shelton 8259 (NSW), 5612 (QLD)

Project No.	Sheet No.	Revision
3418	DA-020	4



View From The Sun - JUNE 21 1PM



View From The Sun - JUNE 21 2PM



Revision	Description	Date
1	PART 5 ISSUE	17/11/2023
2	DA PART 5 ISSUE	21/12/2023
3	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24.	18/01/2024
4	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 15/02/24.	17/05/2024

## Part 5 Submission

### NOTES : DEVELOPMENT APPLICATION

#### 1. DESIGN RESOLUTION

- The drawings represent general architectural intent for the purpose of this development application only.
- The internal layout is shown indicatively and is subject to further design development.
- The dimensions shown are general only and are subject to further design resolution.
- Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
- The size and position of privacy screens, louvres is indicative and shown in open and closed positions.
- Please refer to Landscape drawings for Landscape component (shown indicatively only in this set)
- Location & sizes of plant, equipment, service areas and service risers on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.

#### 2. GRAPHIC PRESENTATION

Colours presented on drawings are generic only and indicative of the architectural design intent.

#### 3. EXISTING STRUCTURES AND SERVICES

Extent and location of existing and proposed neighbouring structures and services is according to the available survey information and will need to be verified on site at later stage.

**THIS DRAWING IS TO BE  
PRINTED IN COLOUR**

#### Consultants

Arborist: Arterra  
Landscape Architect: Site Image  
Access Consultant: Ai Access  
Mechanical: Knox  
Structural: JN  
Civil / Stormwater: JN  
Hydraulic: JN  
Electrical: JN  
BASIX / NatHERS Certification:  
Traffic Consultant:

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#### Project

10-14 MUNMURRA RD. & 5 BERNADOTTE ST,  
RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in  
DP 35818 SENIOR HOUSING DEVELOPMENT

#### Sheet Title

### VIEWS FROM THE SUN - SHEET 4

SCALE @ A1

1:200

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5

10M

Drawn	Checked	Scale
KL	RW	1 : 200 @ A1

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#### Project No.

3418

#### Sheet No.

DA-021

#### Revision

4



View From The Sun - JUNE 21 3PM

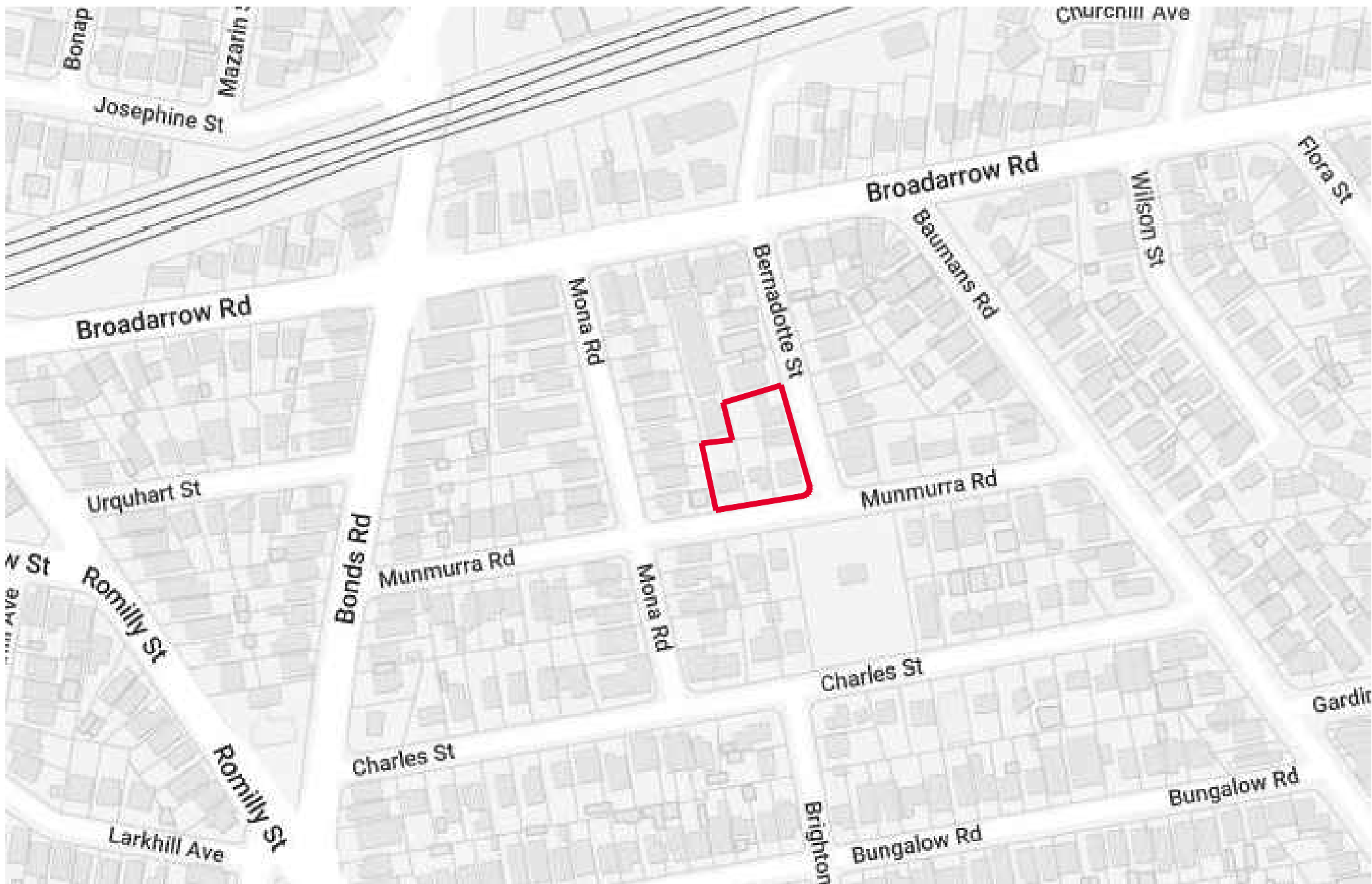


# 10-14 Munmurra Road & 5 Bernadotte St

## Riverwood, NSW, 2210

### DRAWING SCHEDULE

Dwg No.	Drawing Title	Scale
000	Coversheet	N/A
001	Existing Tree Management Plan	1:150 @ A1
100	Landscape Masterplan (Colour)	1:150 @ A1
101	General Arrangement Plan 1	1:100 @ A1
102	General Arrangement Plan 2	1:100 @ A1
201	Planting Plan 1	1:100 @ A1
202	Planting Plan 2	1:100 @ A1
500	Landscape Specification Notes & Planting Schedule	N/A
501	Landscape Details	As Shown @ A1



Site Location Plan

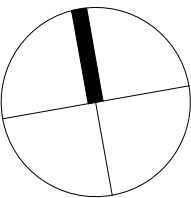


Site Plan | 1:200

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

G	Issue for Approval	JW	RS	11.06.2024
F	Issue for Approval	JW	RS	21.05.2024
E	Issue for Approval	JW	RS	25.01.2024
D	Issue for Approval	BS	RS	19.12.2023
C	Issue for Approval	BS	RS	03.11.2023
B	Issue for Approval	BS	RS	15.09.2023
A	Issue for Approval	MJW	RS	01.09.2023
Issue	Revision Description	Drawn	Check	Date



Client  
Department of Planning and Environment, Land and Housing Corporation

Project  
10-14 Munmurra Rd & 5 Bernadotte St  
Riverwood, NSW 2210

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DEVELOPMENT APPLICATION

Drawing Name  
Landscape Coversheet

Scale	n/a	Drawing Number	000	Issue	G
Job Number	SS20-5173				

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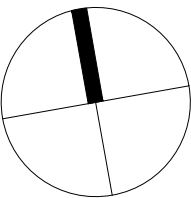
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Issue	Revision Description	Drawn	Check	Date

- Site Boundary
- Existing tree to be retained and protected. Tree numbers correlate with Arborist Report; Refer to Arborist Report.
- Existing tree to be removed. Tree numbers correlate with Arborist Report
- Structural Root Zone (SRZ)
- Tree Protection Zone (TPZ)

Key Plan



Client  
Department of Planning and Environment, Land and Housing Corporation

Project  
10-14 Munmurra Rd & 5 Bernadotte St  
Riverwood, NSW 2210

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DEVELOPMENT APPLICATION

Drawing Name  
Existing Tree Masterplan

Scale 1:150 @ A1  
Job Number  
SS20-5173  
Drawing Number  
001  
Issue  
E



NOTE:  
REFER ARBORIST REPORT

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G	Issue for Approval	JW	RS	11.06.2024
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B	Issue for Approval	BS	RS	15.09.2023
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Issue	Revision Description	Drawn	Check	Date

- Legend**
- Site Boundary
  - Existing tree to be retained and protected. Tree numbers correlate with Arborist Report. Refer to Arborist Report.
  - Proposed Trees
  - Concrete footpaths
  - Driveways and parking areas
  - Private terrace
  - Tiles around edge of the building
  - Open lawn areas for passive recreation
  - Shrubs & Groundcovers provide seasonal and textural interest. Planting to include a good mix of native species
  - 1.2m high palisade fence
  - Seat with arm and back rests for resting and relaxing

Client  
Department of Planning and Environment, Land and Housing Corporation

Project  
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**DEVELOPMENT APPLICATION**

Drawing Name  
Landscape Masterplan (Colour)

Scale 1:150 @ A1  
Job Number  
SS20-5173

Drawing Number  
C100

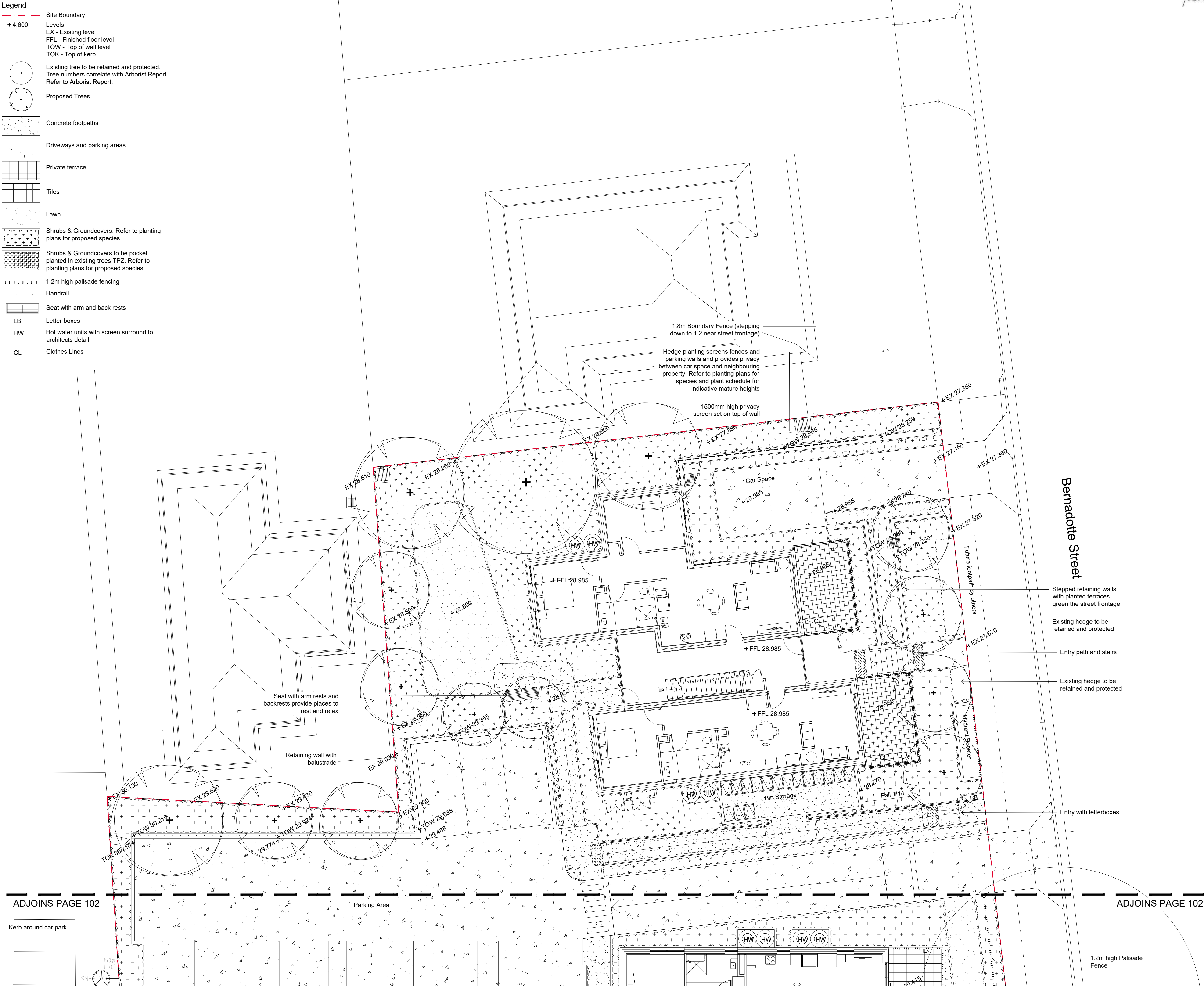
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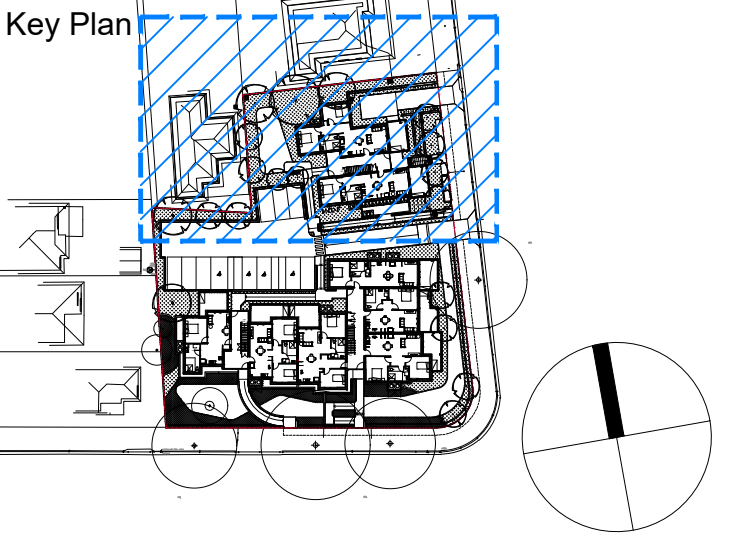
- Legend**
- Site Boundary
- Levels
- EX - Existing level
- FFL - Finished floor level
- TOW - Top of wall level
- TOK - Top of kerb
- Existing tree to be retained and protected.  
Tree numbers correlate with Arborist Report.  
Refer to Arborist Report.
- Proposed Trees
- Concrete footpaths
- Driveways and parking areas
- Private terrace
- Tiles
- Lawn
- Shrubs & Groundcovers. Refer to planting plans for proposed species
- Shrubs & Groundcovers to be pocket planted in existing trees TPZ. Refer to planting plans for proposed species
- 1.2m high palisade fencing
- Handrail
- Seat with arm and back rests
- LB Letter boxes
- HW Hot water units with screen surround to architects detail
- CL Clothes Lines



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Issue	Revision Description	Drawn	Check	Date



Client

Department of Planning and Environment, Land and Housing Corporation

Project

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**DEVELOPMENT APPLICATION**

Drawing Name

General Arrangement Plan 1

Scale 1:100 @ A1

Job Number

SS20-5173

Drawing Number

101

Issue

D







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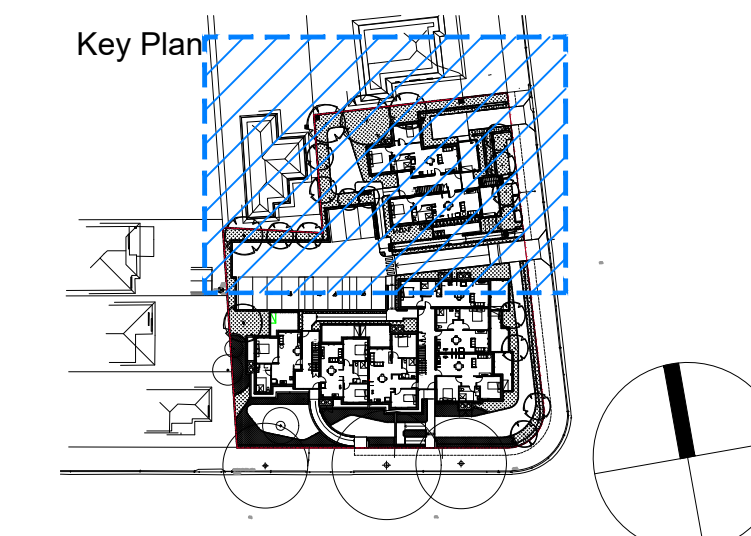
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A	Issue for Approval	MJW	RS	01.09.2023
Issue	Revision Description	Drawn	Check	Date

Legend

- LEGEND**
- Site Boundary
  - Existing tree to be retained and protected
  - Tree Protection Zone (TPZ)
  - Proposed Trees
  - Shrubs & Accents
  - Groundcovers
  - Lawn

## Key Plan



Client

Department of Planning and  
Environment, Land and  
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Project

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## DEVELOPMENT APPLICATION

Drawing Name

Planting Plan 1

Scale 1:100 @ A1

Job Number

SS20-5173

E

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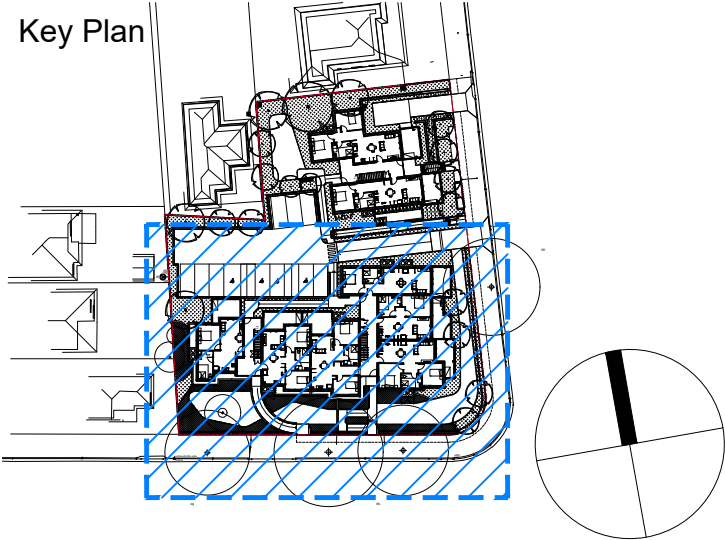


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Issue	Revision Description	Drawn	Check	Date

- Legend**
- Site Boundary
  - Existing tree to be retained and protected
  - Tree Protection Zone (TPZ)
  - Proposed Trees
  - Shrubs & Accents
  - Groundcovers
  - Lawn



Client  
Department of Planning and  
Environment, Land and  
Housing Corporation

Project  
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DEVELOPMENT APPLICATION

Drawing Name  
Planting Plan 2

Scale 1:100 @ A1  
Job Number  
Drawing Number  
Issue

SS20-5173 202 H

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LANDSCAPE SPECIFICATION

GENERAL NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedules on the drawings. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

EXISTING TREES AND SHRUBS

Trees and Shrubs to be Retained and Protected

Identify and mark trees and shrubs to be retained using a suitable non-injurious, easily visible and removable means of identification. Protect from damage the trees and shrubs to be retained, including those beyond the site area, both above and below the ground. If a tree becomes damaged during the works or it is proposed to perform work on a tree, give written notice immediately and obtain instructions.

Work near Trees and Shrubs

Keep the area of the drip-line free from construction material and debris. Do not place bulk materials and harmful materials under foliage canopies or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown building materials, such as cement, from covering trees and other plants. Do not remove topsoil from, or add topsoil to, the area within the drip-line of trees.

EARTHWORKS

Excavation, Trimming and Filling

Except as otherwise noted in the contract, bulk excavation is excluded from the landscape works. After the completion of bulk excavation by others, trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Prepare the sub-grade surface as required for the various finished ground treatments.

Sub-soil Drainage

Keep the excavated works drained and free of standing water. Allow to supply and install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks and course sharp aggregate backfilling of trenches.

HARDWORKS

Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on plan. Provide all footings and fixings required for the items to be stable and in accordance with applicable codes and standards.

Garden Walls, Fences, Steps, TGSi and Edging

Construct garden walls, fences, steps, TGSi and edging as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, tactile surfaces to comply with standards and applicable legislation. Refer to engineer's details for structural retaining walls, heavy duty slabs, concrete stairs, concrete strength, reinforcing and joint placement.

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the subgrade. Ensure that the base course under paved surfaces is a continuous plane offering a constant depth of bedding material not exceeding 50mm.

SOFTWORKS

Soil Testing

Where site soil is to be retrieved from and stored for reuse on site, undertake at least two (2) soil tests, in locations as advised by the Project Manager. Provide results and recommendations regarding soil additives for the benefit of healthy plant growth and to adjust the soil components to achieve an appropriate planting medium for successful plant development.

Subsoil

Excavate and/or fill all garden beds to bring the top of subsoil to at least 300mm below finished design soil levels. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. In all areas shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees and shrubs to be retained. Cultivate or rip the subsoil to a further depth of 100mm before placing top soil. Remove stones of size exceeding 25mm, clods of earth exceeding 50mm, and

weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or existing tree roots. If necessary cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels again after cultivation.

Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edges;
- Smooth and free from inorganic matter, stones or clods of soil;
- Graded to drain freely, without ponding, to catchment and/or sub-soil drains;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, inorganic matter, grass, weeds and the reproductive parts of unwanted plants.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed containers marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses, application rates and safety procedures. Apply appropriate fertiliser suited to the provenance of plants (indigenous or exotic) included in the design.

Plants

Supply plants in accordance with the landscape design drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage;
- Vigorous, well established, free from disease and pests, of good form consistent with the species/variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site in full sun, partial shade or full shade conditions;
- Grown in final containers for not less than twelve weeks;
- Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
- Containers shall be free from weeds and of appropriate size in relation to the specified plant size.

Plant Installation

Following excavation of the planting hole, place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that the backfill soil is not placed over the top of the root ball and that the root ball is not higher than the soil in which it is planted. Apply fertiliser, as specified around the plants in the soil at the time of planting.

Embankment Stabilisation

Where necessary and shown on the drawings prevent soil erosion or soil movement by stabilising embankments as follows. As a minimum this should be on slopes steeper than or equal to 1:3 gradient. Stabilise embankments using biodegradable fibre reinforced heavy weight jute fabric. Lay fabric from top to bottom of slope. Install in accordance with manufacturer's specification, including 300 x 300mm anchor trench at top and bottom of slope, backfilled with soil over the fabric and compacted into the trenches. Using U-shaped galvanised steel pegs at 1000 mm centres generally and 250mm centres at edge overlaps, secure the fabric to the prepared soil surface. Plant through the fabric after it is installed.

Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths, kerbs and all service trenches, where their proximity poses a threat to the stability of the built infrastructure. Install in accordance with manufacturer's recommendations.

Mulch

Unless noted otherwise, mulch shall be approved proprietary recycled wood fibre or pine bark material. Place mulch in all garden beds to a depth of 75mm after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even plane, flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

Stakes and Ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants (>25 lt): 1 off 38 x 38 x 1200mm;
- Semi-advanced plants (>75 lt): 2 off 50x50x 1800mm;
- Advanced (>100 lt): 3 off 50 x 50 x 2400mm.

Turf

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf.

Turf shall have an even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut and lay it within 24 hours of delivery. Prevent it form drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
- Parallel long sides of level areas, with contours on slopes; and
- To finish flush, after lightly tamping, with adjacent finished surfaces and design levels.

IRRIGATION

All proposed landscape areas shall be irrigated.

The irrigation system shall be an automatic permanent system, with an irrigation controller self operated via a soil moisture sensor. The system shall be calibrated to deliver the optimum rate and volume of water appropriate to the type of plants in the design. The system shall be adjustable and fully serviceable. The layout of the entire irrigation system shall focus on delivering the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Generally do not use fine mist emitters that provide a drifting mist that may wet paths and the buildings unless specifically required by the design.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. Unless contracted otherwise, the Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks from Practical Completion of the works. The landscape maintenance works shall include, but not be limited to:

- Replacing failed plants;
- Pruning;
- Insect and pest control;
- Fertilising;
- Maintainain and removing stakes and ties;
- Maintaining mulch;
- Mowing and top dressing;
- Irrigation and watering;
- Erosion control; and
- Weeding and rubbish removal.

Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best. Enter data daily and review information every 2 weeks. Observe trends and develop a maintenance regime around seasonal and observed event occurrences.

Maintenance Activities

During the defects maintenance period schedule the following activities to occur on a timely basis.

- Plant replacement** - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants. Observe and replace failed plants within 2 weeks of observation.
- Pruning** - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type. Observe daily and prune plants on a needs basis.
- Insect, disease and pest control** - Avoid spraying:
  - o if ever possible;
  - o in wet weather or if wet weather is imminent;
  - o if target plants are still wet after rain;
  - o in windy weather; and
  - o if non-target species are too close.
- Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturers' recommendations. Observe daily and act as necessary to control any infestation or disease. Record in the logbook all relevant details of spraying activities including:
  - o Product brand / manufacturer's name,
  - o Chemical / product name,
  - o Chemical contents,
  - o Application quantity and rate,
  - o Date of application and location,
  - o Results of application, and
  - o Use approval authority.
- Fertilising** - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Apply 6-12 monthly. Record in the logbook all relevant details of fertilising including:
  - o Product brand / manufacturer's name,
  - o Fertiliser / product name,

- o Application quantity and rate, and
- o Date of application and location.
- Stakes and ties** - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period). Inspect and act at least every 2 weeks.
- Maintaining mulch** - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified. Observe weekly and replenish mulch as required.
- Mowing and top dressing** - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each mowing. Top dress to a maximum of 10mm to fill depressions and hollows in the surface. Mow weekly/fortnightly in warmer months. Mow monthly or as required in cooler months. Top dress at approximately 6 monthly intervals.
- Irrigation and watering** - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. Adjust and calibrate as required. Provide additional watering, if necessary but inspect irrigation weekly and make repairs as necessary.
- Erosion control** - Where necessary, maintain the erosion control fabric in a tidy and weed free condition and reinstate as necessary to ensure control measures are effective where deemed necessary. Inspect every 2 weeks and act to repair any damage as soon as possible.
- Weeding and rubbish removal** - During the plant establishment period remove by hand, rubbish and weed growth that may occur or re-occur throughout all planted, mulched and paved areas. The contractor shall target weeds that are capable of producing a major infestation of unwanted plants by seed distribution. Whenever possible, time weed removal to precede flowering and seed set. Constant observation and removal of weeds is essential.

10-14 Munmurra Road & 5 Bernadotte Street, Riverwood - Plant Schedule

Symbol		Botanic Name	Common Name	Mature H x W (m)	Pot size	Quantity
<b>TREES</b>	<b>Native</b>					
<b>Asm</b>	*	<i>Acmena smithii</i>	Lilly Pilly	8 x 2	100L	0
<b>Bm</b>	*	<i>Backhousia citriodora</i>	Lemon Scented Myrtle	3 x 2	45L	2
<b>Ca</b>	*	<i>Cupaniosis anacardioides</i>	Tuckeroo	7 x 5	100L	4
<b>Er</b>	*	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	12 x 5	100L	4
<b>Ep</b>	*	<i>Eucalyptus piperita</i>	Sydney Peppermint	15 x 12	100L	1
<b>LiN</b>	*	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle	6 x 3	100L	2
<b>TI</b>	*	<i>Tristanopsis laurina</i> 'Luscious'	Water Gum	8 x 4	100L	6
<b>SHRUBS &amp; ACCENTS</b>						
<b>An</b>	*	<i>Asplenium nidus</i>	Birds Nest Fern	0.8 x 0.8	300mm	66
<b>By</b>		<i>Beschomeria yuccoides</i>	Mexican Lily	1.2 x 1.5	200mm	16
<b>CBJ</b>	*	<i>Callistemon</i> 'Better John'	Bottlebrush	1 x 1	200mm	62
<b>GaF</b>		<i>Gardenia augusta</i> 'Florida'	Gardenia	1.5 x 1.5	200mm	68
<b>Mpa</b>		<i>Murraya paniculata</i>	Orange Jasmine	3 x 2	200mm	48
<b>NdN</b>		<i>Nandina domestica</i> 'Nana'	Dwarf Sacred Bamboo	0.6 x 0.8	200mm	51
<b>PX</b>		<i>Philodendron</i> 'Xanadu'	Dwarf Philodendron	0.6 x 0.6	200mm	92
<b>PBW</b>		<i>Phormium tenax</i> 'Bronze Warrior'	Bronze Warrior NZ Flax	1.5 x 1.5	200mm	3
<b>PgR</b>		<i>Photinia glabra</i> 'Rubens'	Dwarf Photinia	3 x 1.5	200mm	30
<b>ROP</b>		<i>Raphiolepis indica</i> 'Oriental Pearl'	Indian Hawthorn	1 x 1	200mm	115
<b>RSM</b>		<i>Raphiolepis indica</i> 'Snow Maiden'	Indian Hawthorn	0.8 x 0.8	200mm	98
<b>Sr</b>		<i>Strelitzia reginae</i>	Bird Of Paradise	1.2 x 1.5	200mm	11
<b>SC</b>	*	<i>Syzygium</i> 'Cascade'	Pink Flowering Lilly Pilly	3 x 2	200mm	93
<b>WBG</b>	*	<i>Westringia fruticosa</i> 'Blue Gem'	Coastal Rosemary	1 x 1	200mm	6
<b>WGB</b>	*	<i>Westringia fruticosa</i> 'Grey Box'	Coastal Rosemary	0.5 x 0.5	200mm	12
<b>GROUNDCOVERS AND GRASSES</b>						
<b>Ao</b>		<i>Agapanthus orientalis</i>	Agapanthus Blue	0.5 x 0.5	150mm	81
<b>CCI</b>	*	<i>Casuarina</i> 'Cousin It'	Cousin It She Oak	0.5 x 1.0	200mm	16
<b>Cmi</b>		<i>Clivia miniata</i>	Bush Lily	0.5 x 0.6	150mm	69
<b>DcB</b>	*	<i>Dianella caerulea</i> 'Breeze'	Dianella Breeze	0.6 x 0.6	150mm	217
<b>Dr</b>	*	<i>Dichondra repens</i>	Kidney Weed	0.1 x 1	150mm	12
<b>HvM</b>	*	<i>Hardenbergia violacea</i> 'Meena'	Happy Wanderer	0.4 x 2	150mm	106
<b>LEG</b>		<i>Liriope</i> 'Evergreen Giant'	Giant Liriope	0.6 x 0.6	150mm	103
<b>Lm</b>		<i>Liriope muscari</i>	Liriope	0.3 x 0.3	150mm	142
<b>LT</b>	*	<i>Lomandra</i> 'Tanika'	Lomandra Tanika	0.5 x 0.5	150mm	535
<b>MpY</b>	*	<i>Myoporum parvifolium</i> 'Yareena'	Creeping Boobialla	0.2 x 1.5	150mm	173
<b>PaN</b>	*	<i>Pennisetum alopecuroides</i> 'Nafray'	Nafray Pennisetum	0.6 x 0.6	150mm	229
<b>Vh</b>	*	<i>Viola hederacea</i>	Native Violet	0.1 x 0.3	150mm	108

G	Issue for Approval	JW	RS	21.05.2024
F	Issue for Approval	JW	RS	25.01.2024
E	Issue for Approval	BS	RS	19.12.2023
D	Issue for Approval	BS	RS	03.11.2023
C	Issue for Approval	BS	RS	27.09.2023
B	Issue for Approval	BS	RS	15.08.2023
A	Issue for Approval	MJW	RS	01.09.2023
Issue	Revision Description	Drawn	Check	Date

Client  
Department of Planning and Environment, Land and Housing Corporation

Project  
10-14 Munmurra Rd & 5 Bernadotte St  
Riverwood, NSW 2210

DEVELOPMENT APPLICATION



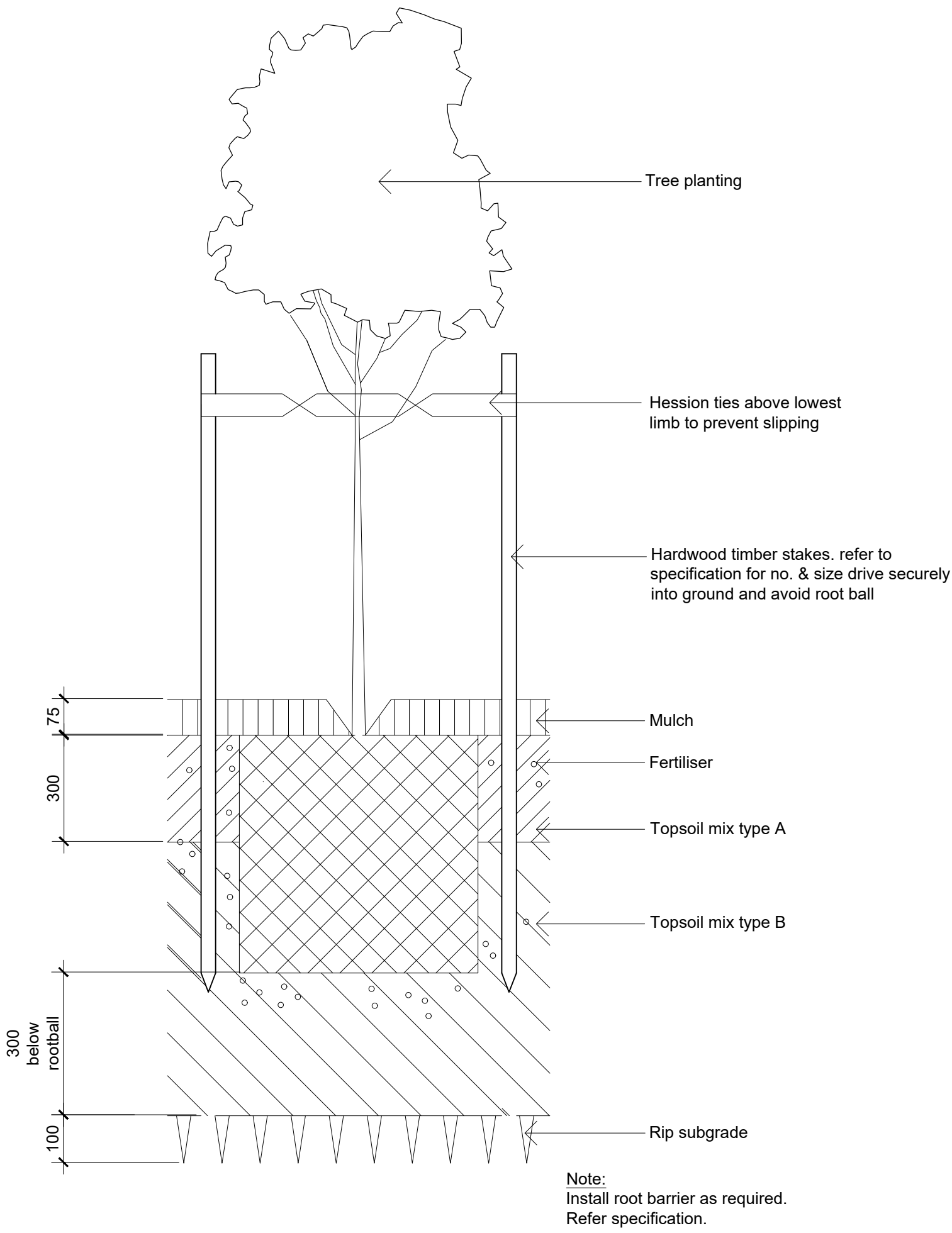
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DETERMINED by the NSW Land and Housing Corporation on: 28.06.24

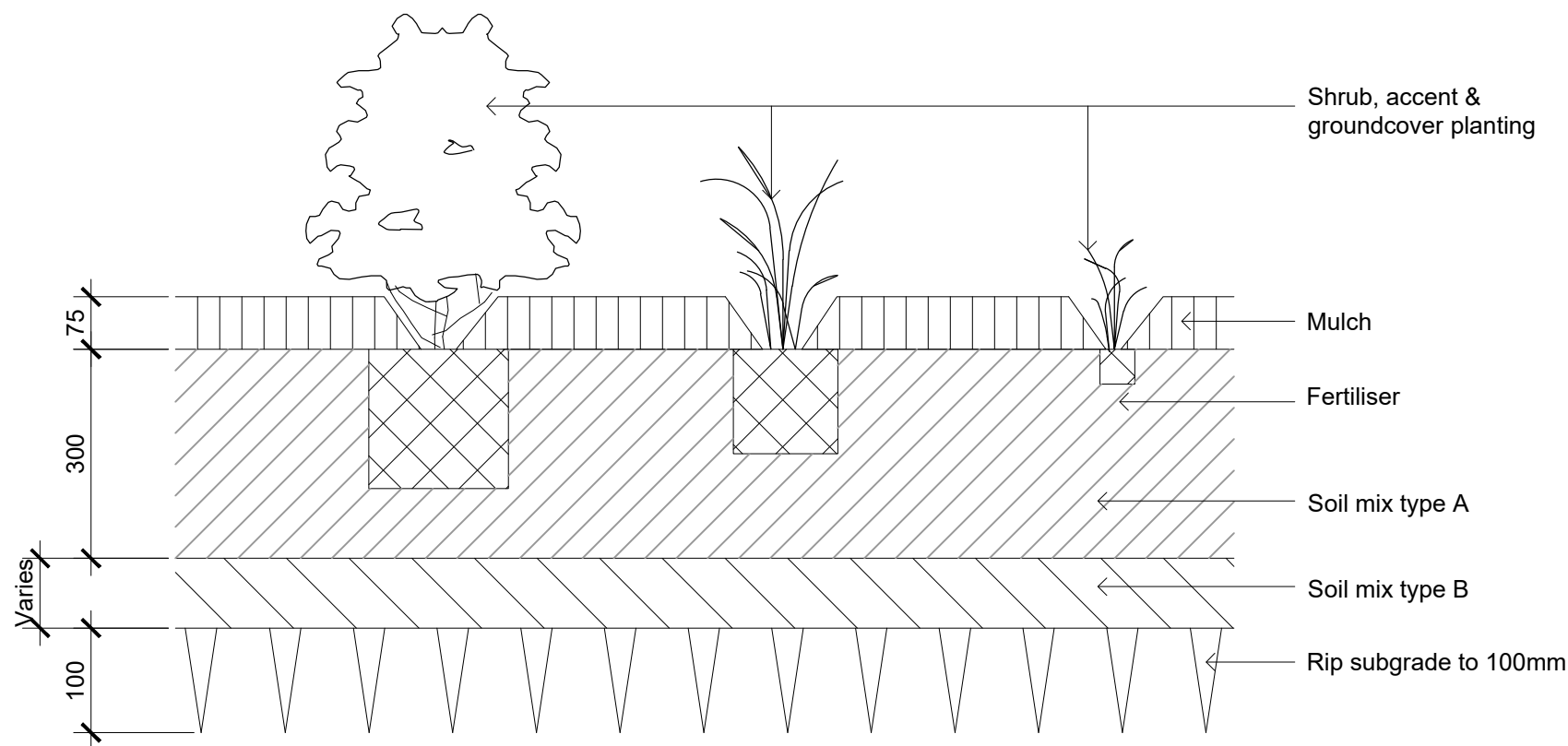
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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

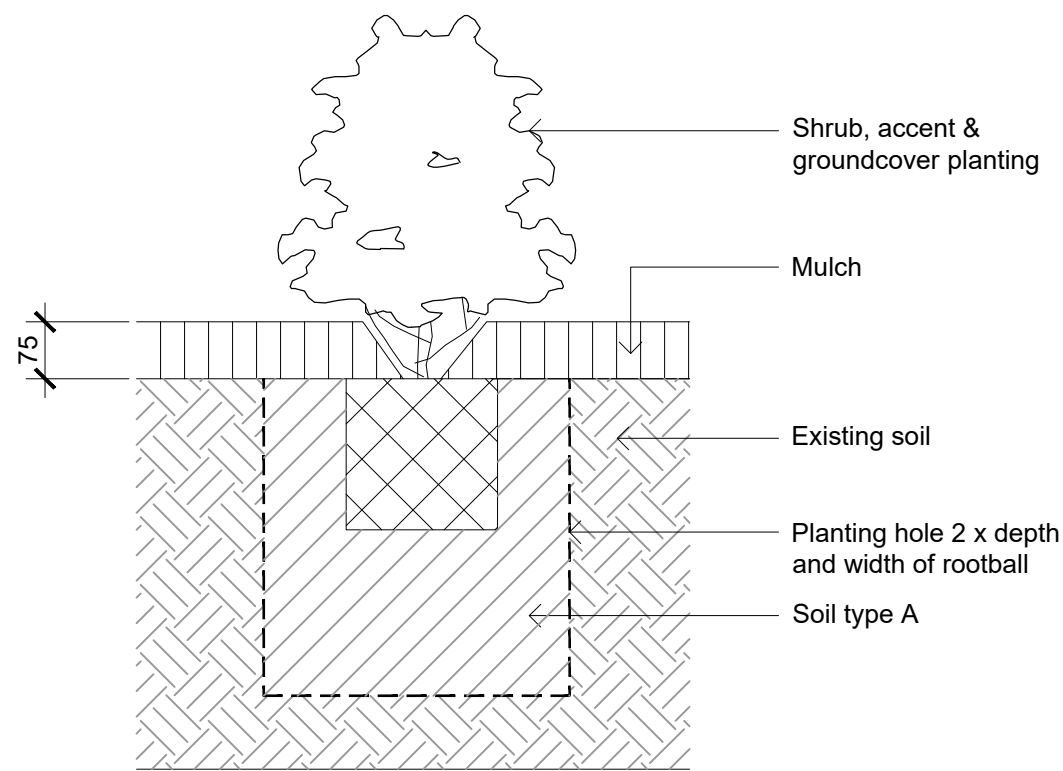
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A	Issue for Approval	MJW	RS	01.09.2023
Issue	Revision Description	Drawn	Check	Date



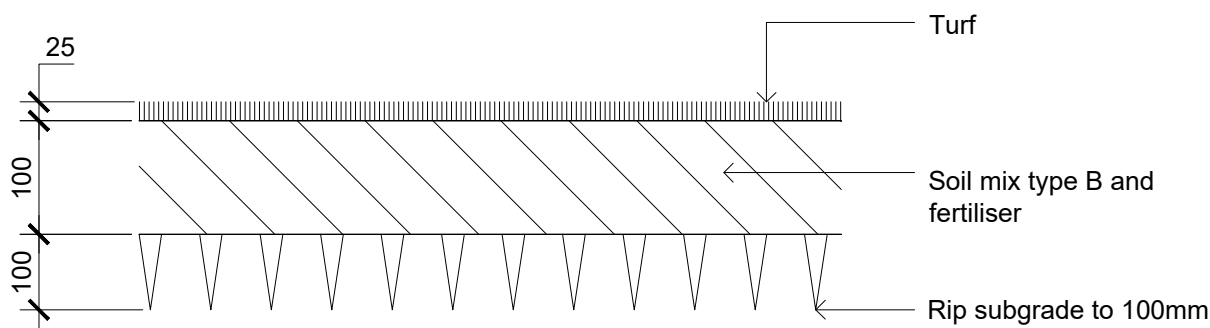
01 Tree Planting on Grade  
501 1:10



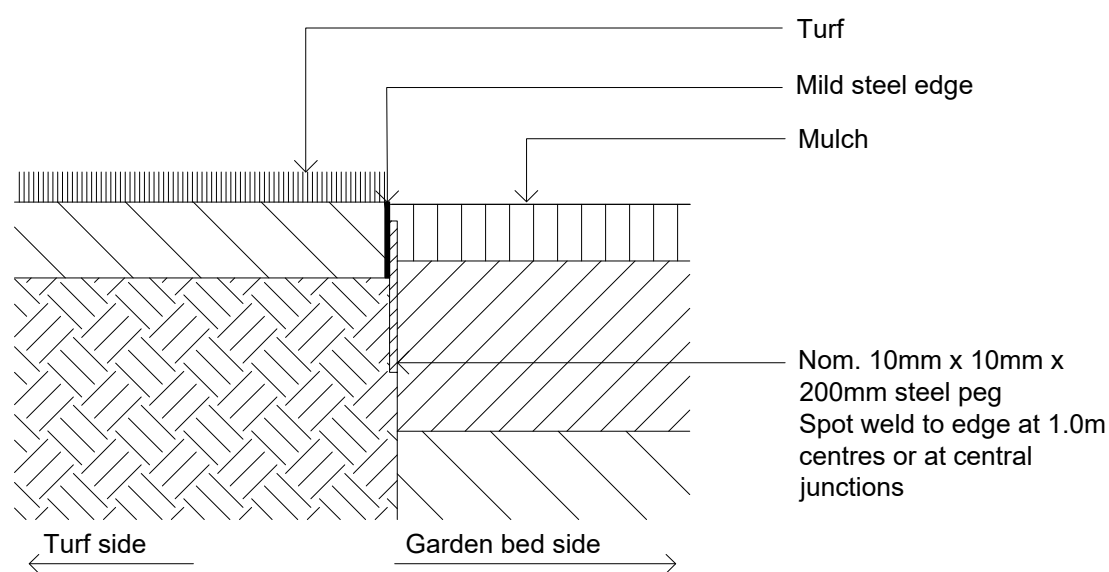
02 Shrub, Accent & Groundcover Planting on Grade  
501 1:10



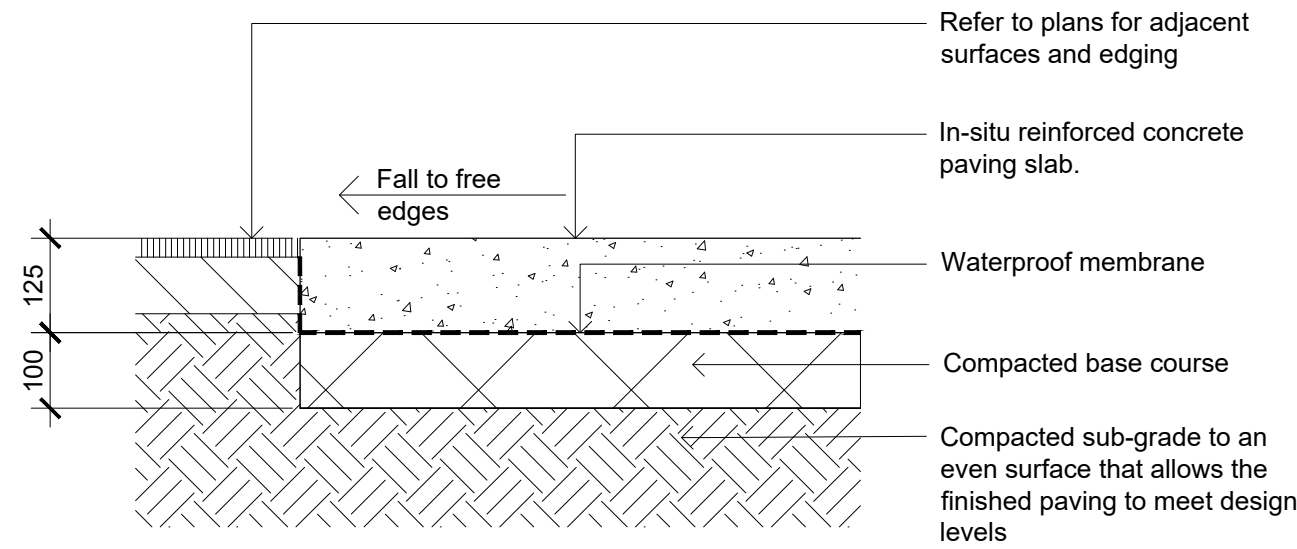
03 Pocket Planting in existing trees TPZ  
501 1:10



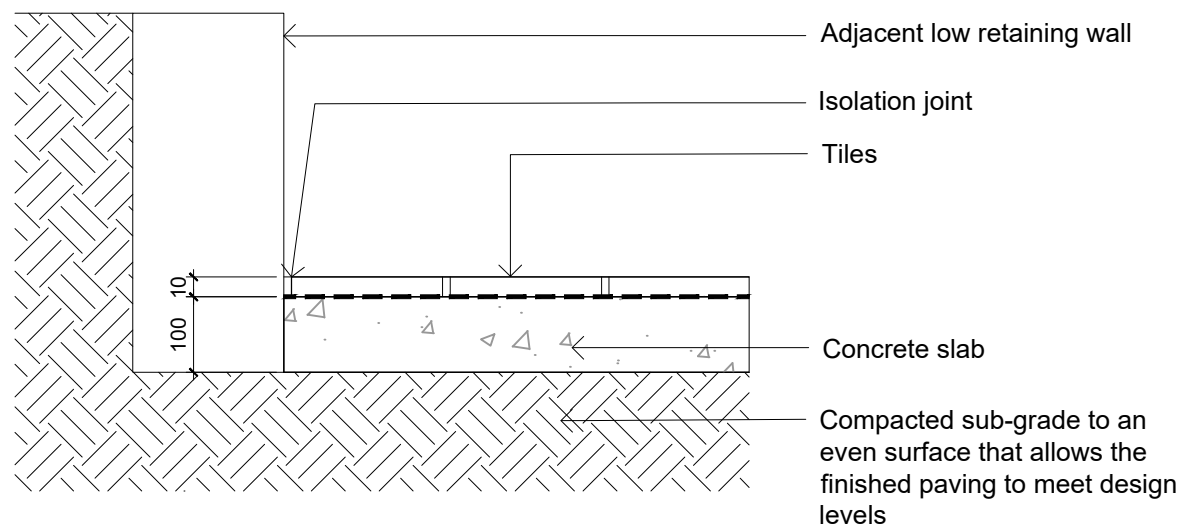
04 Turf on Grade  
501 1:10



05 Typical Mild Steel Edge  
501 1:10



06 Insitu Concrete Paving  
501 1:10



07 Gravel Strip  
501 1:10

NOT FOR CONSTRUCTION

Client  
Department of Planning and Environment, Land and Housing Corporation

Project  
10-14 Munmurra Rd & 5 Bernadotte St  
Riverwood, NSW 2210

SITE IMAGE  
Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia  
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Fax: (61 2) 9698 2877  
www.siteimage.com.au  
Site Image (NSW) Pty Ltd  
ABN 44 801 262 380  
Landscape Architects

DEVELOPMENT APPLICATION

Drawing Name  
Landscape Details

Scale as shown @ A1  
Job Number Drawing Number Issue  
SS20-5173 501 B



**NOTES:**

TOTAL = 2494.1 m<sup>2</sup>  
IMPERVIOUS = 1505.9 m<sup>2</sup> (60.4%)  
PERVIOUS = 988.2m<sup>2</sup> (39.6%)

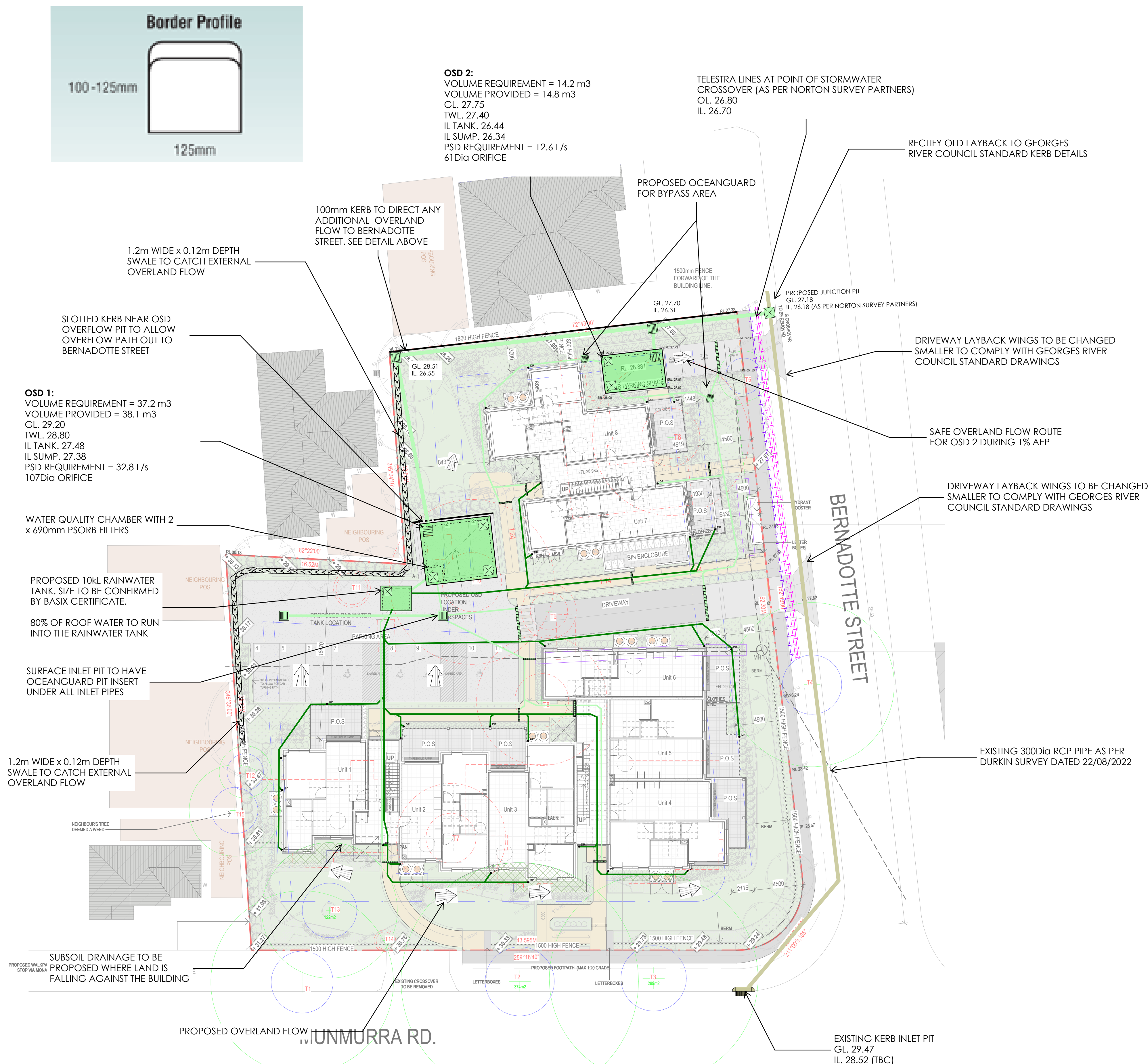
OSD SIZING BASED ON GEORGES RIVER COUNCIL  
STORMWATER MANAGEMENT POLICY 2021 TABLE 3:  
SSR = 51.4 m3  
PSD = 45.4 L/s  
CAN HAVE UP TO 20% OFFSET FOR OSD STORAGE  
FOR RWT RE-USE USAGE

1% AEP FLOOD LEVEL (TAILWATER) - RL 27.38

**OSD 1:**  
TOTAL AREA = 1803.8 m<sup>2</sup> (72.3%)  
SSR = 37.2 m<sup>3</sup>  
PSD = 32.8 L/s  
BYPASS = 141.3 m<sup>2</sup> (0% IMPERVIOUS)  
BYPASS PSD = 5.6 L/s  
REMAINING OSD 1 PSD = 27.2 L/s

**OSD 2:**  
TOTAL AREA = 690.3 m<sup>2</sup> (27.7%)  
SSR = 14.2 m<sup>3</sup>  
PSD = 12.6 L/s  
BYPASS = 125.4 m<sup>2</sup> (28.7% IMPERVIOUS)  
BYPASS PSD = 4.8 L/s  
REMAINING OSD 1 PSD = 7.8 L/s

HAVE 27.7% OF OSD STORAGE BELOW 1% AEP FLOOD LINE (DROWNED ORIFICE). THIS IS BELOW THE 30% AS OUTLINED IN GEORGES RIVER COUNCIL STORMWATER MANAGEMENT POLICY 2021 SECTION 4.13



DRAWING REVIEWED BY

Scott McMillan  
Civil Manager  
B.E. Civil (Hons)  
MIEAust CPEng NER  
2465653



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DESIGN	DJA
DATE	13/06/2024
SIZE	A1
SCALE	1:200
PROJECT MGR	GC

CIVIL SKETCH

## SITE STORMWATER PLAN

**Proposed Seniors  
Housing Development**  
10-14 Munmurra Road and 5  
Bernadotte St Riverwood NSW 2210  
**Custance Associates Australia Pty  
Ltd**

N0221293  
CSK01 G



## NOTES:

- ALL BALCONIES TO BE PICKED UP VIA RAINWATER OUTLETS WITH AN ADEQUATE OVERFLOW SYSTEM

- ALL BALCONIES TO HAVE THRESHOLD DRAINS

- ALL RAINWATER OUTLETS TO CONNECT INTO THE MAIN STORMWATER LINE PROPOSED AT GROUND LEVEL

BERNADOTTE STREET

1 DA-007



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B.E. Civil (Hons)  
MIEAust CPEng NER  
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CIVIL SKETCH

LEVEL 1 STORMWATER  
PLAN

**Proposed Seniors  
Housing Development**  
10-14 Munmurra Road and 5  
Bernadotte St Riverwood NSW 2210  
**Custance Associates Australia Pty  
Ltd**

N0221293  
CSK02G



NOTES:

- ALL GUTTERING TO BE EAVES GUTTER UNLESS SPECIFIED OTHERWISE
- DOWNPIPES AND EAVES GUTTERS TO BE SIZED DURING CC STAGE
- DOWNPIPE LOCATIONS ARE INDICATIVE AND SUBJECT TO CHANGE



DRAWING REVIEWED BY:  
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Civil Manager  
B.E. Civil (Hons)  
MIEAust CPEng NER  
2465653



DESIGN DJA  
DATE 13/06/2024  
SIZE A1  
SCALE 1:100  
PROJECT MGR GC

CIVIL SKETCH  
ROOF STORMWATER  
PLAN

**Proposed Seniors  
Housing Development**  
10-14 Munmurra Road and 5  
Bernadotte St Riverwood NSW 2210  
**Custance Associates Australia Pty  
Ltd**

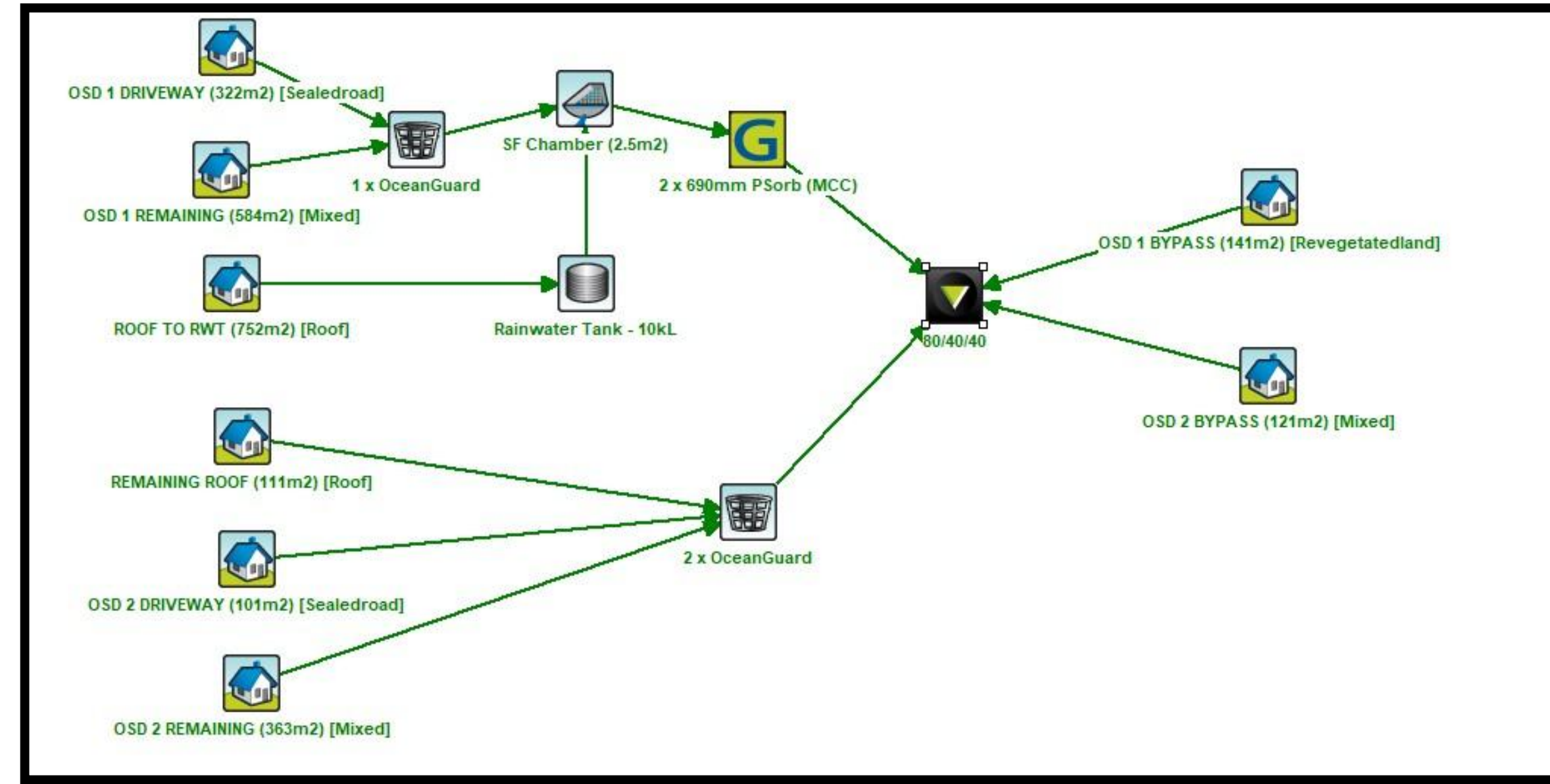
**N0221293  
CSK03 G**





Legend

Description	Quantity	Unit
OSD 1 BYPASS	141.33	sq m
OSD 1 DRIVEWAY	322.06	sq m
OSD 1 PERVIOUS	466.31	sq m
OSD 1 REMAINING IMPERVIOUS	117.63	sq m
OSD 2 BYPASS	120.69	sq m
OSD 2 DRIVEWAY	100.61	sq m
OSD 2 PERVIOUS	277.79	sq m
OSD 2 REMAINING IMPERVIOUS	84.83	sq m
REMAINING ROOF	111.42	sq m
ROOF TO RWT	751.74	sq m



MUSIC MODEL

Treatment Train Effectiveness - 80/40/40

	Sources	Residual Load	% Reduction
Flow (ML/yr)	2.47	2.34	5.2
Total Suspended Solids (kg/yr)	339	59.1	82.6
Total Phosphorus (kg/yr)	0.763	0.345	54.8
Total Nitrogen (kg/yr)	5.8	3.47	40.2
Gross Pollutants (kg/yr)	54.4	1.44	97.4

MUSIC RESULTS



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B.E. Civil (Hons)  
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PROJECT MGR GC

CIVIL SKETCH  
WSUD PLAN

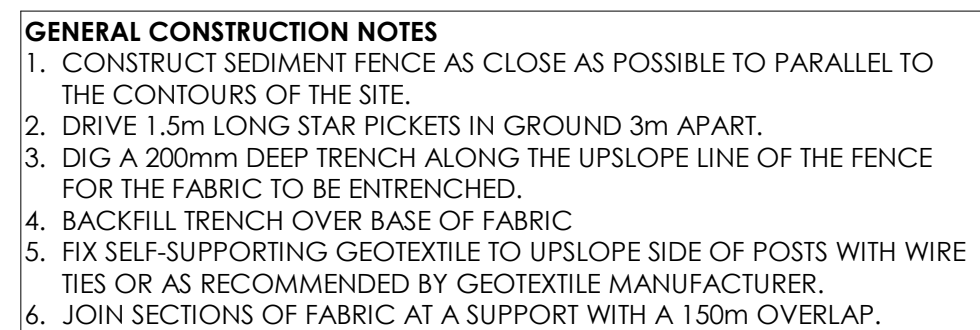
Proposed Seniors  
Housing Development  
10-14 Munmurra Road and 5  
Bernadotte St Riverwood NSW 2210  
Custance Associates Australia Pty  
Ltd

N0221293  
CSK04G

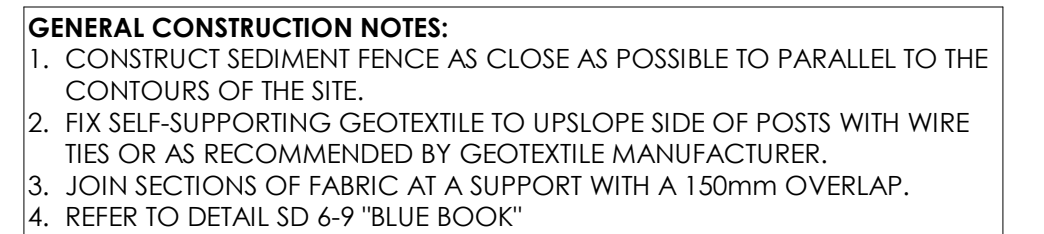


## Job No. N0221293

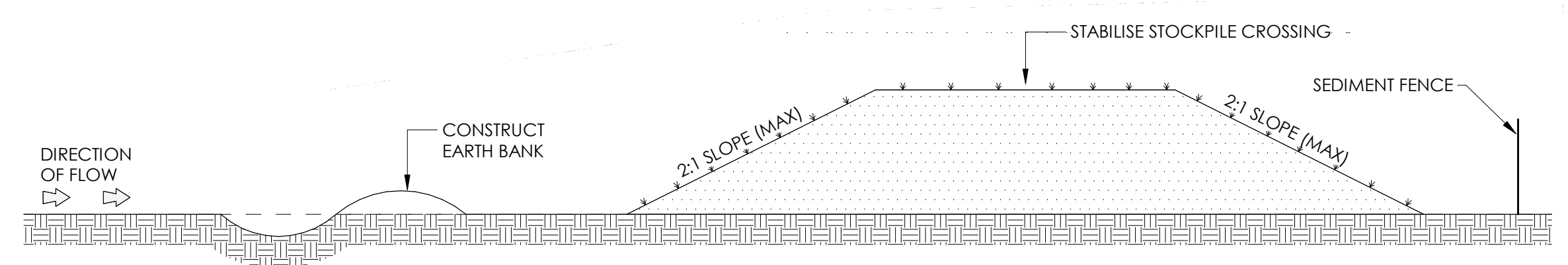
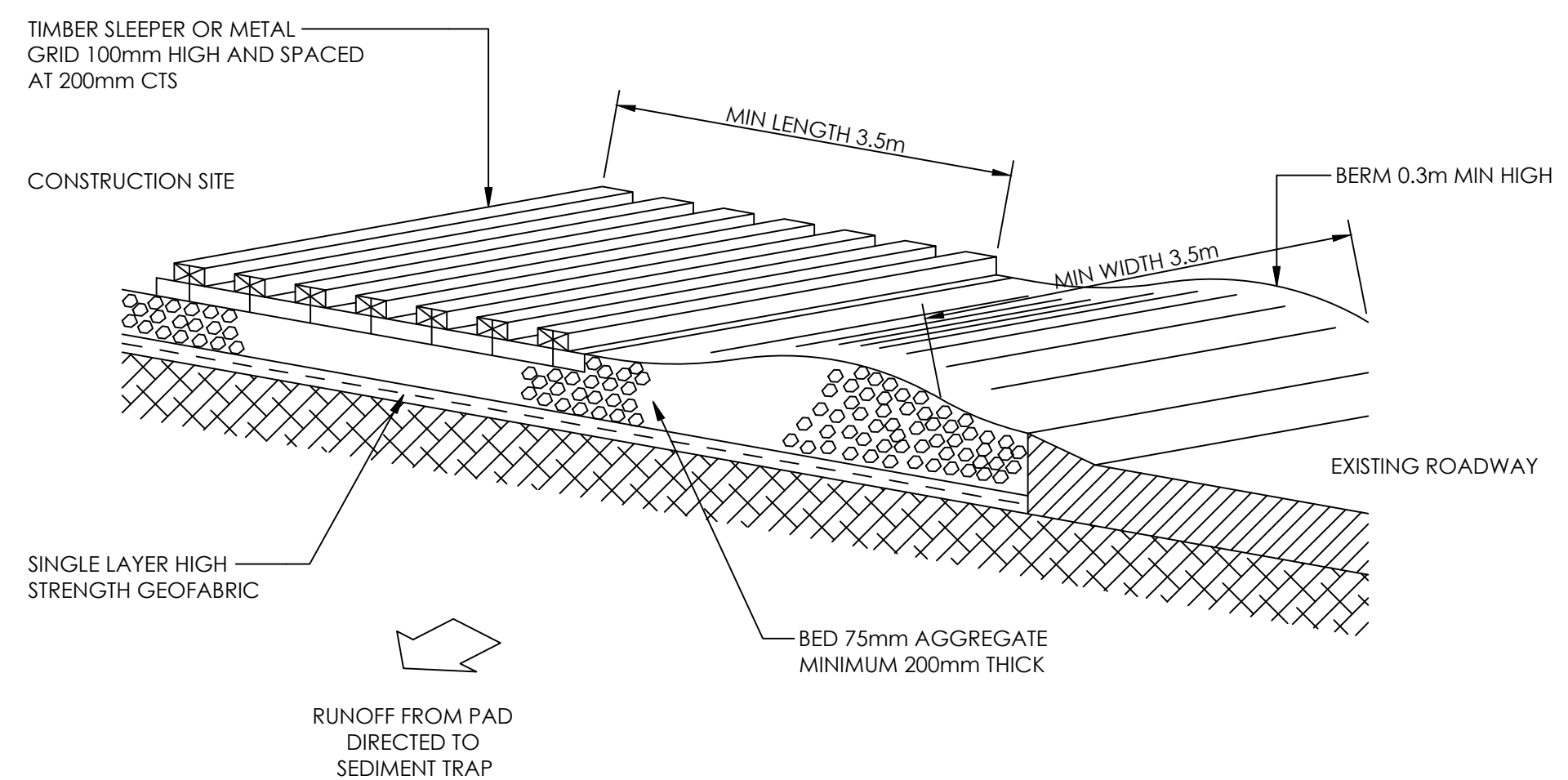
1. EROSION & SEDIMENT CONTROLS TO BE INSTALLED IN ACCORDANCE WITH COUNCIL'S SPECIFICATION & THE NSW DEPARTMENT OF HOUSING 'BLUE BOOK'. SOILS AND CONSTRUCTION - MANAGING URBAN STORMWATER, 2004. REFER TO THE BLUE BOOK FOR STANDARD DRAWINGS.
2. SEDIMENT EROSION CONTROLS MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS OR DEMOLITION ACTIVITY. THE LOCATION OF SUCH DEVICES IS INDICATIVE ONLY AND FINAL POSITION SHOULD BE DETERMINED ON SITE.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MEASURES ARE TAKEN TO PREVENT THE SOURCE OF EROSION OR PREVENT SEDIMENT EROSION AND POLLUTION OF THE DOWNSTREAM SYSTEM. SUPERVISING ENGINEER SHOULD BE CONTACTED IF IN DOUBT. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED OFF-SITE LOCATION.
4. RETAIN ALL EXISTING GRASS COVER WHEREVER POSSIBLE. TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE STRIPPED AND STOCKPILED AT THE NOMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE.
5. ALL AREAS TO BE EXCAVATED TO BE PROTECTED PROGRESSIVELY DURING THE WORKS AND STABILISED AS EARLY AS POSSIBLE. THE SUPERVISING ENGINEER MAY DIRECT THE CONTRACTOR TO HAVE AREAS OF DISTURBANCE COMPLETED AND STABILISED DURING THE COURSE OF THE WORKS.
6. ALL EXPOSED AREAS ARE TO BE SEEDED & FERTILISED WITHIN 14 DAYS OF EXPOSURE.
7. ALL EXISTING TREES TO BE RETAINED UNLESS SHOWN OTHERWISE ON APPROVED DRAWINGS. TREES RETAINED ARE TO BE PROTECTED WITH A HIGH VISIBILITY FENCE, PLUS FLAGGING TO INDIVIDUAL TREES NECESSARY.
8. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS PRIOR TO COLLECT SILT LAID WATER. UNTIL SURROUNDING AREAS ARE PAVED OR REGRADED, GRAVEL OR GEOTEXTILE INLET FILTERS TO SD6-11 & SD6-12.
9. ALL SILT FENCES & BARRIERS ARE TO BE MAINTAINED IN GOOD ORDER & REGULARLY DURING THE CONSTRUCTION PERIOD. SILT FENCES TO SD6-8 OR SD6-9.
10. ALL EXPOSED AREAS TO BE PROTECTED WITH A HIGH VISIBILITY FENCE TO BE COVERED WITH GEOTEXTILE SILT FENCE MATERIAL. PLASTIC SHEETING OR MEMBRANE MUST NOT BE USED. SAFETY BARRICADING SHOULD BE USED TO ISOLATE STOCKPILES OF SOLID MATERIALS SUCH AS SIFT, REINFORCING, FORMWORK AND STOCKPILING.
11. ALL EXISTING MATERIALS ARE TO BE STOCKPILED OR LOADED INTO SKIP-BINS LOCATED ON SITE AS SHOWN ON PLAN.
12. NO MORE THAN 150m OF TRENCHING TO BE OPEN AT ANY ONE TIME. IMMEDIATELY AFTER TRENCH BACKFILLING, PROVIDE SANDBAGS OR SAUSAGE FILTERS ALONG EACH TRENCH AT 10M SPACING. FILTERS TO REMAIN IN PLACE UNTIL REVEGETATION HAS OCCURRED.
13. ALL VEHICLES LEAVING THE SITE MUST PASS OVER THE STABILISED SITE ACCESS BALLAST AREA (SIMILAR TO SD6-14) TO SHAKE OFF SITE CLAY AND SOIL. IF NECESSARY WHEELS AND AXLES ARE TO BE HOSED DOWN. BALLAST IS TO BE MAINTAINED & REPLACED AS NECESSARY DURING CONSTRUCTION.
14. THE HEAD CONTRACTOR IS TO INFORM ALL SITE STAFF AND SUB-CONTRACTORS OF THEIR OBLIGATIONS UNDER THE EROSION AND SEDIMENT CONTROL PLAN.
15. ANY SEDIMENT DEPOSITED ON THE PUBLIC WAY, INCLUDING FOOTPATH RESERVE AND ROAD SURF, IS TO BE REMOVED IMMEDIATELY.
16. PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOTPATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.
17. CONCRETE PUMPS AND CRANES ARE TO OPERATE FROM WITHIN THE BALLAST AREA TO PREVENT VIBRATION AND AVOID TO OPERATE FROM THE PUBLIC ROADWAY UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.
18. DELIVERY VEHICLES MUST NOT STAND WITHIN THE PUBLIC ROADWAY FOR MORE THAN 20 MINUTES AT A TIME.
19. TRUCKS TO BE USED TO EXCAVATED / DEMOLISHED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PATHS. MATERIAL TO BE TAKEN TO THE TRUCK TO REDUCE TRUCK MOVEMENT ON SITE. TRUCKS TO BE LIMITED TO SINGLE UNIT HEAVY ROAD VEHICLES. (NO SEMITRAILERS)
20. ALL CONSTRUCTION WORK ADJACENT TO ADJOINING PROPERTIES OR THE PUBLIC ROADWAY IS NOT TO BE COMMENCED UNTIL THE STRUCTURAL ENGINEER IS CONSULTED AND SPECIFIC INSTRUCTIONS RECEIVED FROM THE ENGINEER.
21. TOILET FACILITIES MUST BE EITHER A FLUSHING TYPE OR APPROVED PORTABLE CHEMICAL CLOSET. CHEMICAL CLOSETS ARE TO BE MAINTAINED & SERVICED ON A REGULAR BASIS SO AS TO PREVENT AN OUBORUR.
22. DURING TRENCH EXCAVATION ALL SPILL SHALL BE MOUNDED ON THE UPHILL SIDE OF THE TRENCHES AND PLACEMENT IS TO COMPLY WITH THE SUPERINTENDENTS REQUIREMENT.
23. DIVERSION BANKS SHOULD BE CONSTRUCTED BY MOUNDING STRIPPED TOPSOIL (MIN 150mm) WHERE DIRECTED. MATERIAL TO BE RESPAED ON FOOTWAYS AFTER FINAL TRIMMING.
24. UNDISTURBED BUFFER ZONE AREAS ARE CLOSED TO ALL TRAFFIC MOVEMENTS UNLESS OTHERWISE NOTED BY THE SUPERINTENDENT AND ACCESS TO THE SEWER OR C.D.L. ARE TO BE SHOWN ON THE PLAN.
25. TRAFFIC MANAGEMENT MEASURES ARE REQUIRED TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION. IN ACCORDANCE WITH R.T.A. TRAFFIC CONTROL AT WORK SITES - CURRENT EDITION AND AS 1742 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
26. PEDESTRIAN CONTROL MEASURES ARE REQUIRED TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION. IN ACCORDANCE WITH AS 1742 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.



SCALE 1 : 20



SCALE 1 : 20





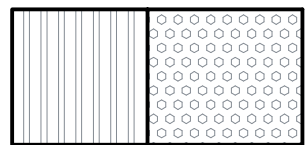
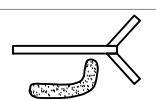



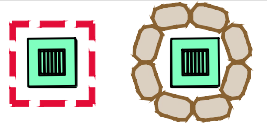





N.T.S

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- GENERAL CONSTRUCTION NOTES:**
1. LOCATE STOCKPILE AT LEAST 5m FROM VEGETATION, CONCENTRATED WATER FLOWS, ROADS AND HAZARD AREAS.
  2. CONSTRUCT ON THE CONTOUR AS A LOW FLAT ELONGATED MOUND.
  3. WHERE THERE IS A SUFFICIENT AREA TOPSOIL STOCKPILES SHOULD BE LESS THAN 2m IN HEIGHT. (TO ALLOW AIR VENTILATION FOR FURTHER REUSE)
  4. REHABILITATE IN ACCORDANCE WITH THE SWR/ESCP.
  5. CONSTRUCT EARTH BANK ON THE UPSLOPE SIDE TO DIVERT RUN OFF AROUND THE STOCKPILE AND A SEDIMENT FENCE 1m TO 2m DOWNSLOPE OF STOCKPILE.

## STOCKPILES

ENVIRONMENTAL SITE MANAGEMENT LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED BUILDING LINE
	PROPOSED BUILDING ROOF OUTLINE
	PROPRIETARY SILT FENCE
	PROVIDE TEMPORARY CHAIN WIRE FENCING (HOARDING) ALONG THE SITE BOUNDARY
	TEMPORARY STABILISED CONSTRUCTION ENTRY/EXIT, (SHAKER PAD)
	TEMPORARY FILTER TUBE WITH SAFETY BARRICADE TO KERB INLET PITS.
	TEMPORARY MASS CONCRETE FOOTPATH CROSSING.
	DIRECTION OF FLOW
	DIVERSION BANK
	SURFACE INLET DRAINAGE PIT WITH SURROUNDING FILTER FABRIC INLET SEDIMENT TRAP OR FILTER TUBES (SANDBAGS)
	TEMPORARY GEOTEXTILE WRAPPED HAY BALES/SAND BAGS
	SANDBAG SEDIMENT INLET TRAP
	SANDBAG KERB SEDIMENT TRAP



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## ESM SITE PLAN

**Proposed Senior  
Development**  
10-14 Munmurra Road and 5  
Bernadotte St Riverwood NSW 2210  
**Custance Associates Australia Pty  
Ltd**

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## CIVIL SKETCH

### ESM SITE PLAN

**Proposed Senior Development**  
10-14 Munmurra Road and 5  
Bernadotte St Riverwood NSW 2210  
**Custance Associates Australia Pty Ltd**

**N0221293**  
**ESM2 B**